

GENERAL NOTES

1. CODE COMPLIANCE: ALL WORK SHALL COMPLY WITH THE 2015 IRC, 2015 IFGC, 2015 IFUC, 2015 IFPC, 2015 IMFC, 2008 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND WITH ALL LOCAL CODES AND ORDINANCES.

ENERGY NOTES

CODE: 2015 W.S.E.C. & 2015 IRC, WAC 51-11R CLIMATIC ZONE: ZONE #4C - MARINE
SPACE HEAT TYPE: NATURAL GAS, FORCED AIR SYSTEM THERMAL STANDARDS UNLIMITED OPTION
INSULATION VALUES: WALLS: R-21 FLOOR OVER UNHEATED SPACES: R-30 SLAB-ON-GRADE: R-10

PROJECT DATA

PROJECT ADDRESS: 5202 FOREST AVE SE MERCER ISLAND 98040
PROPERTY TAX ID NUMBER: 141030-0063
SCOPE OF WORK: CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE, 3 STORIES, WITH PARTIALLY BURIED MAIN FLOOR SHOP; CONSTRUCTION OF A SERIES OF RETAINING WALLS TO CREATE FLAT TERRACES IN (E) HILLSIDE.

PROJECT TEAM

OWNER: SEASCAPE HOMES, LLC
CONTRACTOR: SEASCAPE HOMES, LLC
ARCHITECT: STURMAN ARCHITECTS, INC.
STRUCTURAL: LONGITUDE120 ENGINEERING

LEGAL DESCRIPTION

LOTS 1-4, KNUTSON SHORT PLAT, MERCER ISLAND SHORT PLAT NO SUB07-003 AS RECORDED UNDER REC. NO. 2007121090010.

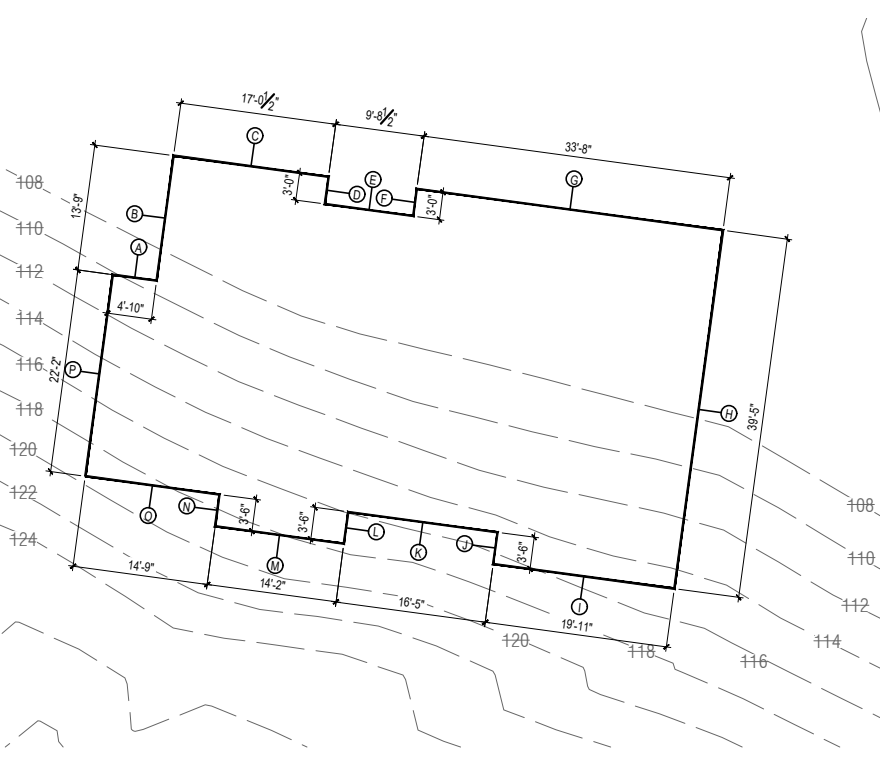
2015 WSEC CREDITS

Table with columns: CREDITS, OPTION, DESCRIPTION. Lists energy efficiency credits for HVAC, water heating, and other systems.

DUTY OF COOPERATION

RELEASE AND ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, CONTRACTOR, AND STURMAN ARCHITECTS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO STURMAN ARCHITECTS.

ABE KEY PLAN NO SCALE



GROSS FLOOR AREA

Table with columns: AREA, GROSS FLOOR AREA, NET LOT AREA, ALLOWED MAX. % GFA COVERAGE, etc.

CUT/FILL

Tree Protection section: A TREE PROTECTION INSPECTION IS REQUIRED BEFORE START OF WORK.

SHEET INDEX

- List of sheets including: A1.0 COVER SHEET - GENERAL & ENERGY NOTES, LEGAL, PROJECT DATA, CUT-FILL CALC., INDEX, SITE PLAN; A1.1 FULL SITE PLAN; A1.2 TREE PLAN; C1.0 SITE, GRADING, STORM & UTILITY PLAN; etc.

A.B.E.

Average Building Elevation table with columns: Wall Length, Elevation Ft., Wall Length X Elev. Ft., Average Building Elevation.

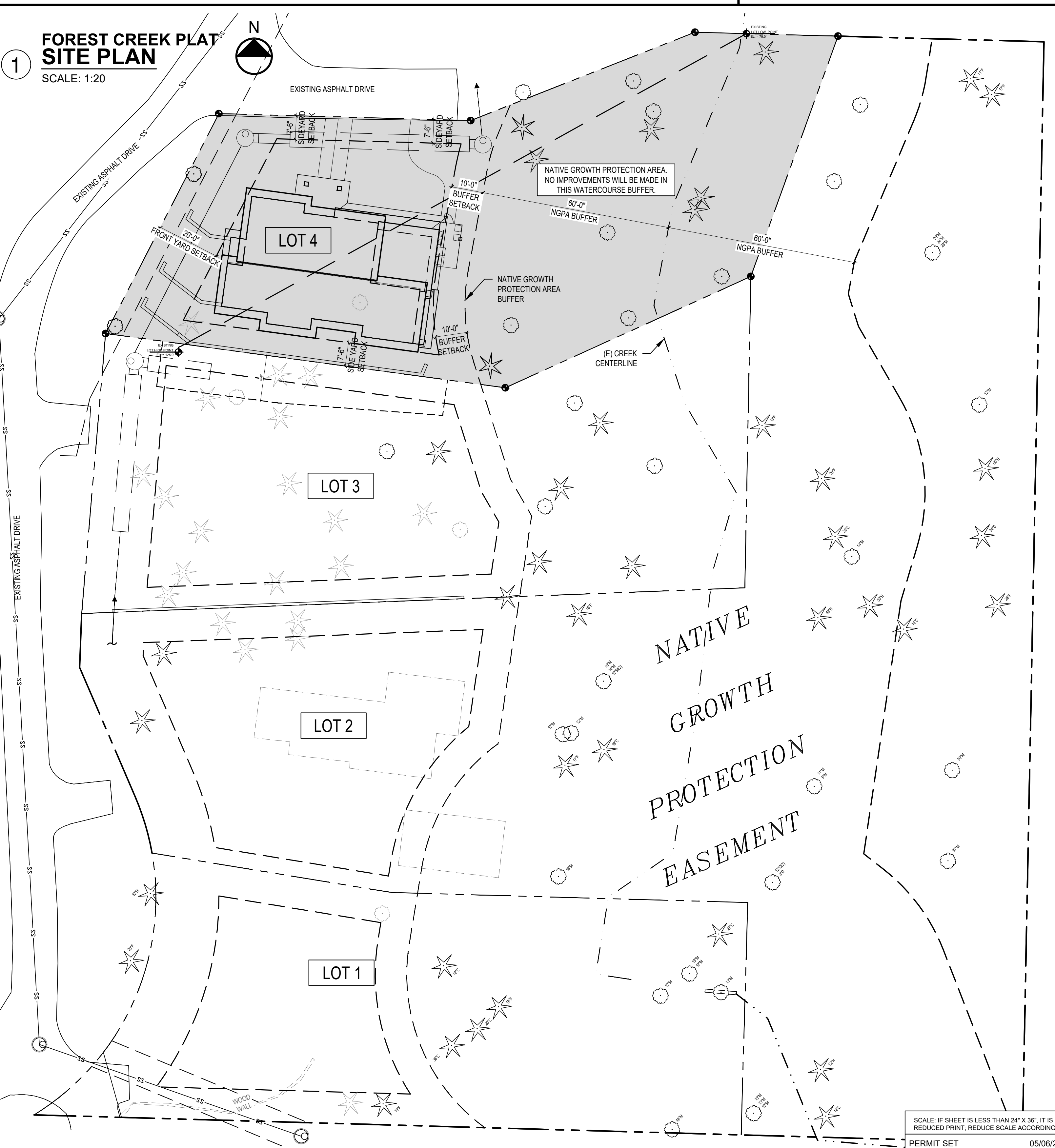
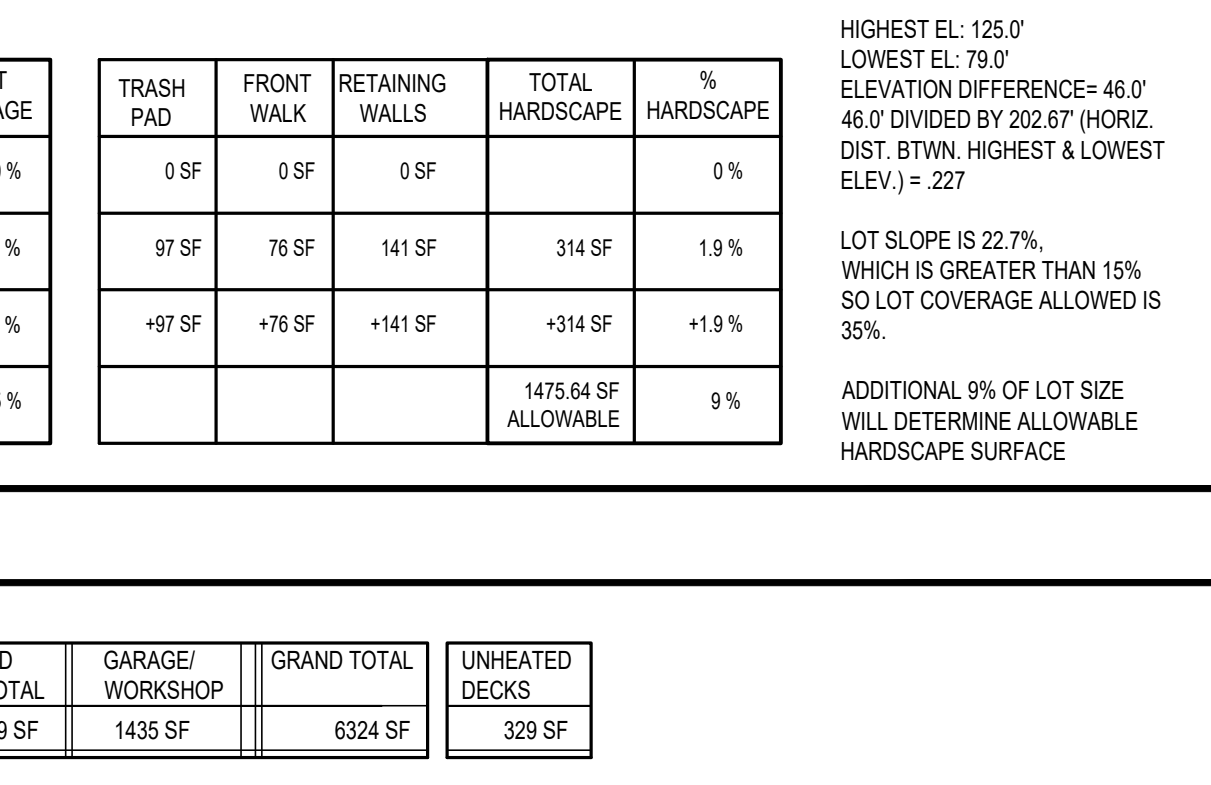
LOT COVERAGE (IMPERVIOUS AREA)

Table comparing existing and proposed impervious areas, including lot area, main roof, drives/parking, and total lot coverage.

BUILDING AREA

Table showing building area breakdown: LOWER FLOOR, MAIN FLOOR, UPPER FLOOR, HEATED SUB-TOTAL, GARAGE/WORKSHOP, GRAND TOTAL, UNHEATED DECKS.

VICINITY MAP

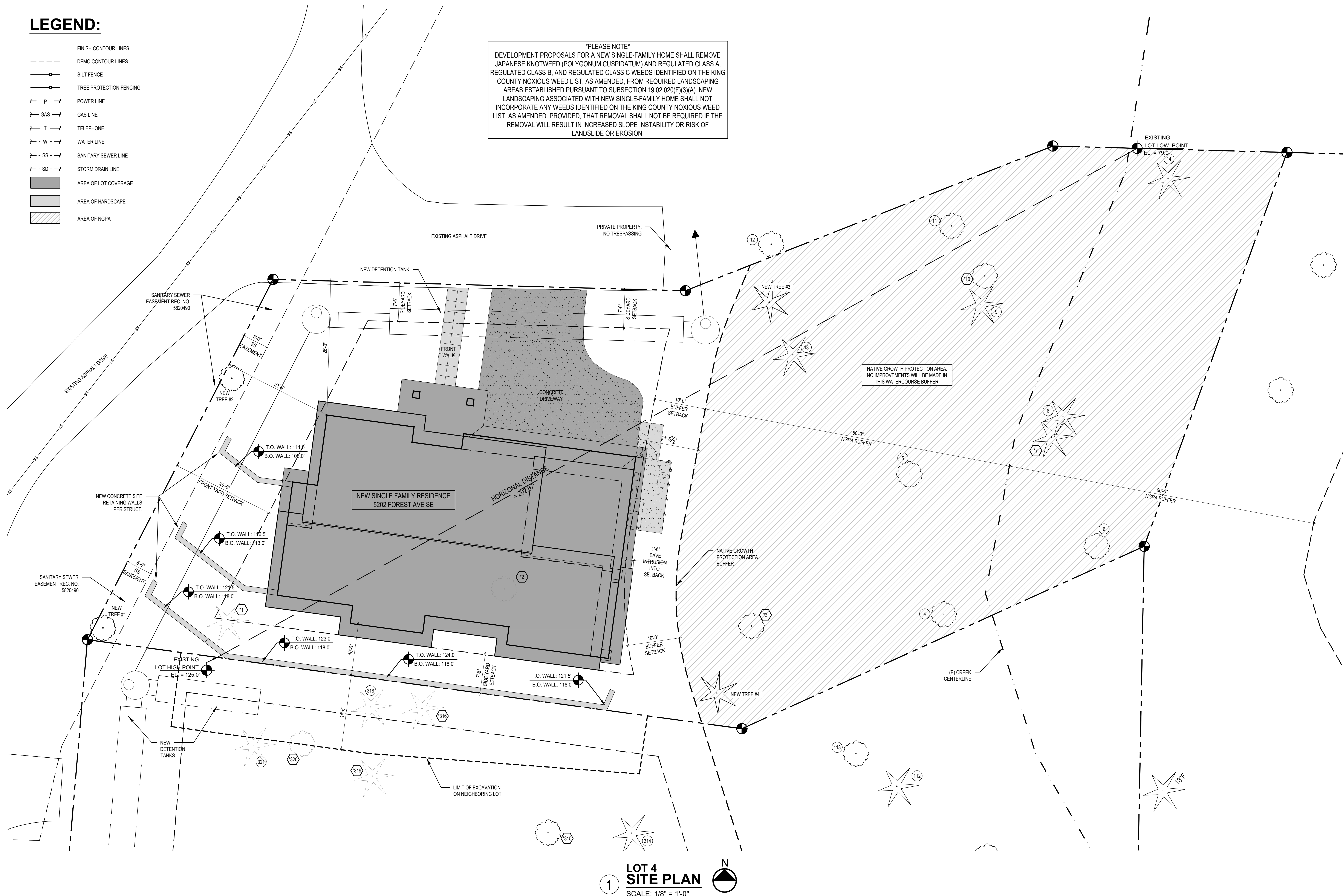


Vertical sidebar containing: STURMAN ARCHITECTS logo, project title 'FOREST CREEK PLAT SITE PLAN', permit set information, and revision table.

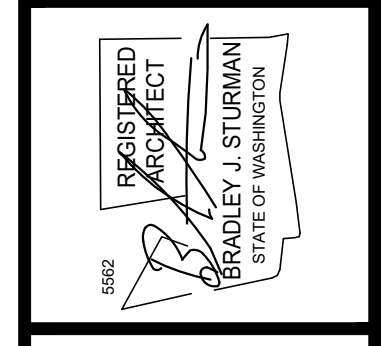
LEGEND:

- FINISH CONTOUR LINES
- - - DEMO CONTOUR LINES
- SILT FENCE
- TREE PROTECTION FENCING
- P — POWER LINE
- G — GAS LINE
- T — TELEPHONE
- W — WATER LINE
- SS — SANITARY SEWER LINE
- SD — STORM DRAIN LINE
- AREA OF LOT COVERAGE
- AREA OF HARDSCAPE
- ▨ AREA OF NGPA

PLEASE NOTE
 DEVELOPMENT PROPOSALS FOR A NEW SINGLE-FAMILY HOME SHALL REMOVE JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM) AND REGULATED CLASS A, REGULATED CLASS B, AND REGULATED CLASS C WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED, FROM REQUIRED LANDSCAPING AREAS ESTABLISHED PURSUANT TO SUBSECTION 19.02.020(F)(3)(A). NEW LANDSCAPING ASSOCIATED WITH NEW SINGLE-FAMILY HOME SHALL NOT INCORPORATE ANY WEEDS IDENTIFIED ON THE KING COUNTY NOXIOUS WEED LIST, AS AMENDED. PROVIDED, THAT REMOVAL SHALL NOT BE REQUIRED IF THE REMOVAL WILL RESULT IN INCREASED SLOPE INSTABILITY OR RISK OF LANDSLIDE OR EROSION.



LOT 4 SITE PLAN
 SCALE: 1/8" = 1'-0"



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FOREST CREEK ESTATES LOT 4 PERMIT SET
 5202 FOREST AVE S.E.
 MERCER ISLAND, WA 98040

SITE PLAN

REVISIONS:	
2021-318 PERMIT CORRECTIONS	
DRAWN BY:	KE
CHECKED BY:	BJS
SHEET	

A1.1
 PERMIT SET 05/06/21 PLOT DATE: 5/6/2021

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

PLEASE NOTE
 FOR THE DEVELOPMENT OF PARCEL 141030-0063 ("LOT 4"), ANY TREES REMOVED FROM ADJOINING PARCEL 141030-0061 ("LOT 3") WILL NOT BE INCLUDED IN ANY TREE DENSITY CALCULATIONS FOR "LOT 4." ALL REQUIRED REPLACEMENT TREES FOR TREES REMOVED FROM "LOT 3" WILL BE NOT BE INCLUDED WITH REQUIRED REPLACEMENT TREES FOR "LOT 4." ALL "LOT 3" REPLACEMENT TREES WILL BE SHOWN ON THE PLAN SET FOR "LOT 3."

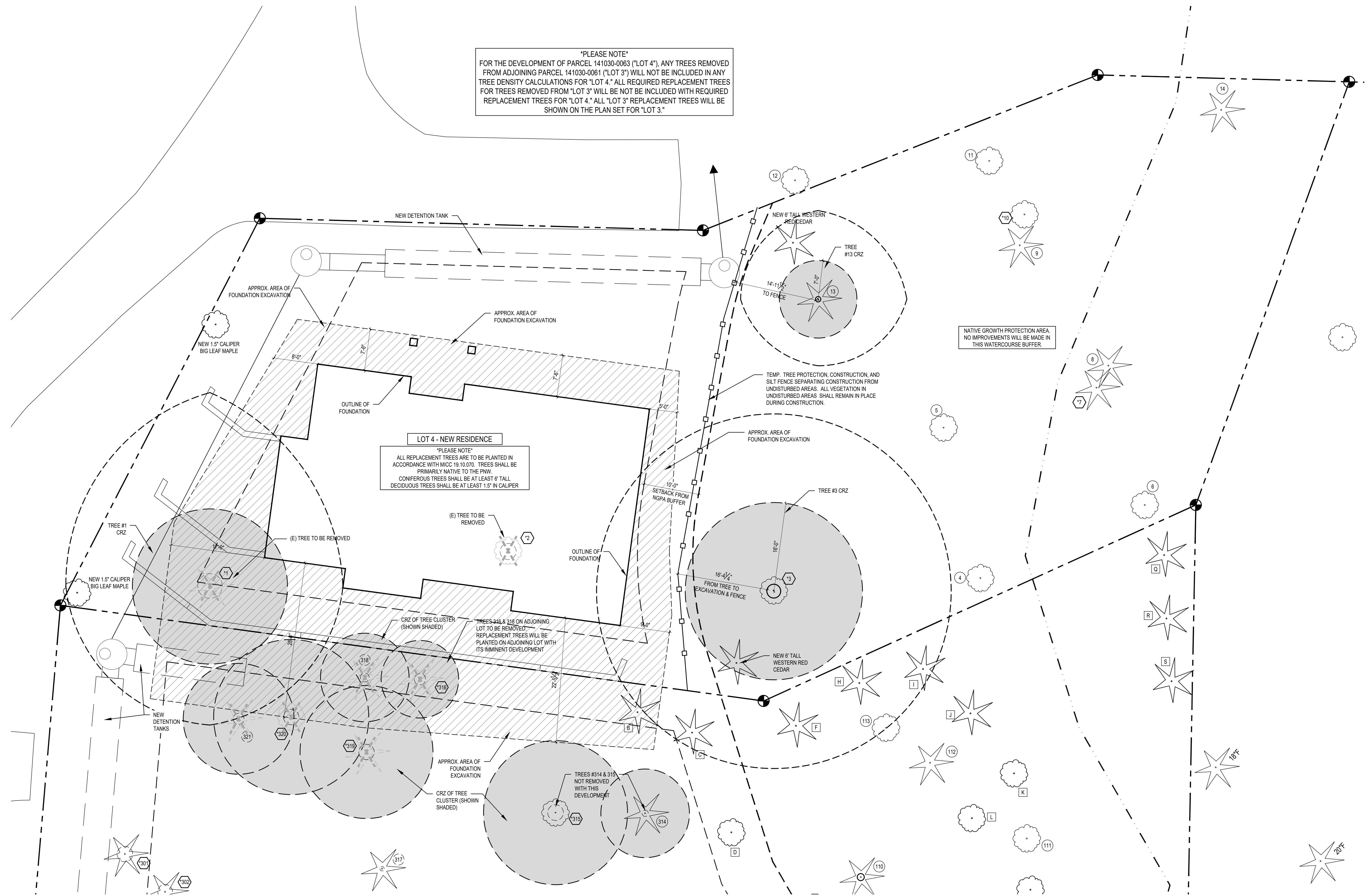
LOT 4 - NEW RESIDENCE
PLEASE NOTE
 ALL REPLACEMENT TREES ARE TO BE PLANTED IN ACCORDANCE WITH MICC 19.10.070. TREES SHALL BE PRIMARILY NATIVE TO THE PNW. CONIFEROUS TREES SHALL BE AT LEAST 6' TALL. DECIDUOUS TREES SHALL BE AT LEAST 1.5" IN CALIPER.

TREES 316 & 318 ON ADJOINING LOT TO BE REMOVED. REPLACEMENT TREES WILL BE PLANTED ON ADJOINING LOT WITH ITS IMMINENT DEVELOPMENT.

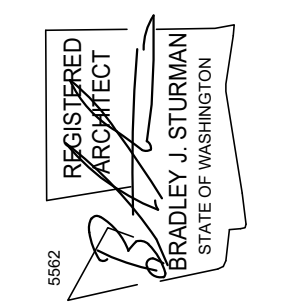
TREES #314 & 318 NOT REMOVED WITH THIS DEVELOPMENT.

NATIVE GROWTH PROTECTION AREA. NO IMPROVEMENTS WILL BE MADE IN THIS WATERCOURSE BUFFER.

TEMP. TREE PROTECTION, CONSTRUCTION, AND SILT FENCE SEPARATING CONSTRUCTION FROM UNDISTURBED AREAS. ALL VEGETATION IN UNDISTURBED AREAS SHALL REMAIN IN PLACE DURING CONSTRUCTION.



1 LOT 4 TREE PLAN
 SCALE: 1/8" = 1'-0"



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FOREST CREEK ESTATES LOT 4 PERMIT SET
 5202 FOREST AVE S.E.
 MERCER ISLAND, WA 98040

LOT 4 TREE PLAN

REVISIONS:	
2021-318 PERMIT CORRECTIONS	

DRAWN BY: KE

CHECKED BY: BJS

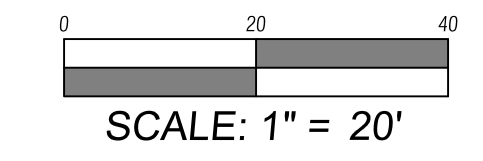
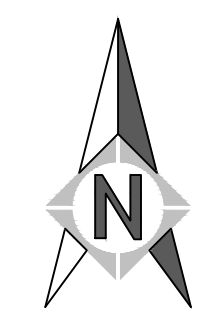
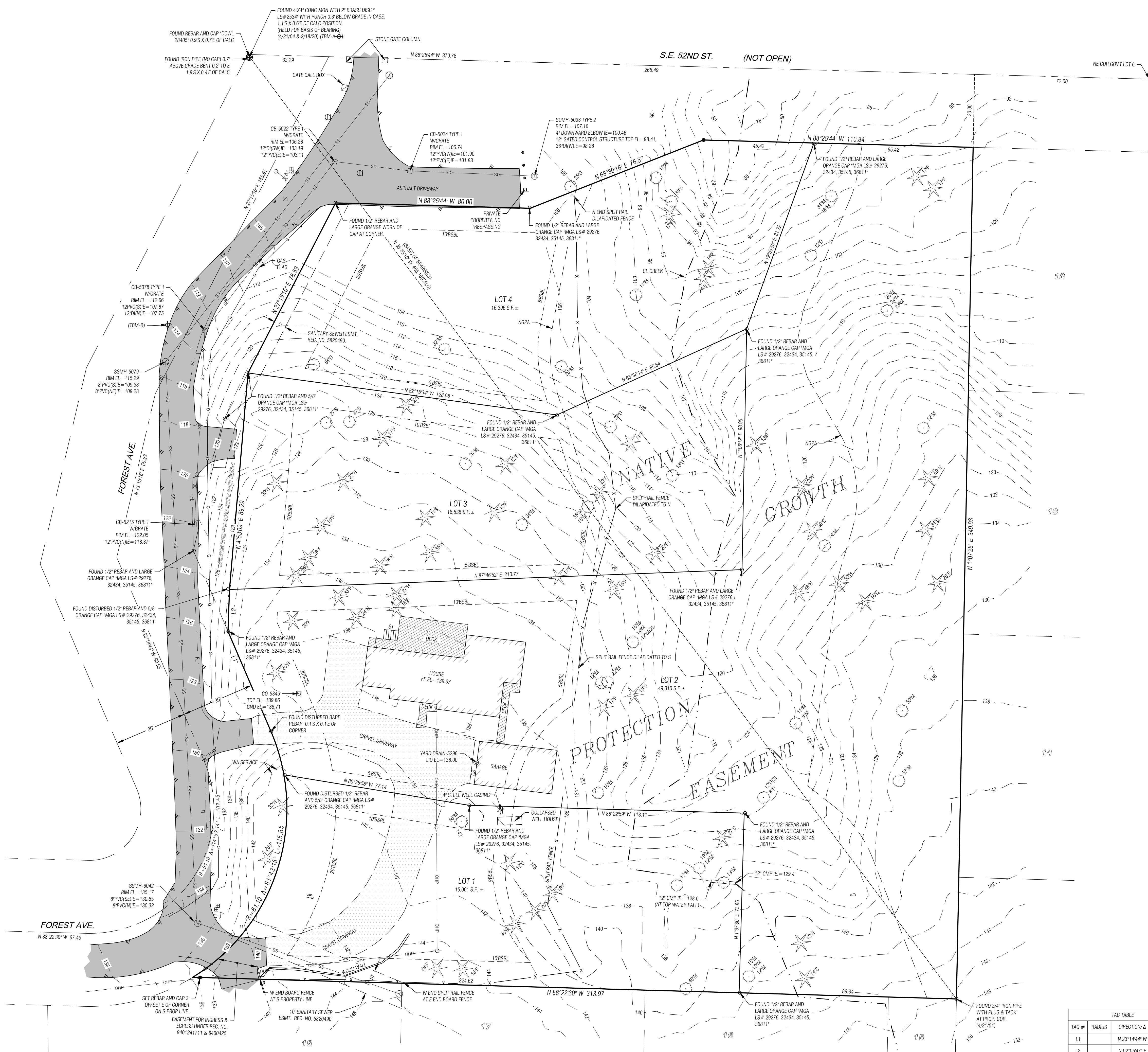
SHEET

A1.2

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.

PERMIT SET 05/06/21

PLOT DATE: 5/6/2021



MERIDIAN
STATE PLANE COORDINATE SYSTEM - NORTH ZONE NAD83 (2011)
BASED ON RAPID STATIC GPS MEASUREMENTS WITH OPUS SOLUTION.

VERTICAL DATUM
NAVD 88 (GEOID 18)
BASED ON RAPID STATIC GPS MEASUREMENTS WITH OPUS SOLUTION.

BENCHMARKS
TBM-A
FOUND 4"x4" CONC MON WITH 2" BRASS DISC 1" LS#2534 WITH PUNCH 0.3 BELOW GRADE IN CASE 69.6' NW OF NW PROP CORNER.
ELEV. = 104.53'
TBM-B
FOUND 1/2" REBAR AND MGA CONTROL CAP AT W SIDE FOREST DRIVE, 0.5W OF WEST EDGE ASPHALT PAVEMENT AND 15.5W OF CB-5078.
ELEV. = 113.94'

- NOTES**
- A 5" ELECTRONIC TOTAL STATION WAS USED FOR THIS FIELD TRAVERSE SURVEY. ALL EQUIPMENT HAS BEEN MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES. ACCURACY MEETS OR EXCEEDS W.A.C. 332-130-090.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.
 - THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME. ALL CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN FEBRUARY 18, 2020, UNLESS OTHERWISE NOTED.
 - UNDERGROUND UTILITIES WERE LOCATED BASED ON SURFACE EVIDENCE (I.E. PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION, AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - TREE SIZES AND SPECIES WERE DETERMINED TO THE BEST OF OUR ABILITY. MEAD GILMAN AND ASSOCIATES DOES NOT WARRANT THE ACCURACY OF THE SIZE AND SPECIES OF ANY TREES SHOWN HEREON. ALL TREE SIZES SHOULD BE VERIFIED BY A TRAINED ARBORIST.
 - THIS MAP DOES NOT INTEND TO SHOW ALL EASEMENTS OF RECORD.
 - CONTOUR INFORMATION EAST OF WEST LINE OF NGPA BUFFER AND FENCE RUNNING NORTH-SOUTH AND ALSO SOUTH OF SOUTH PROPERTY LINE WAS DELIVERED FROM KING COUNTY UDLAR.

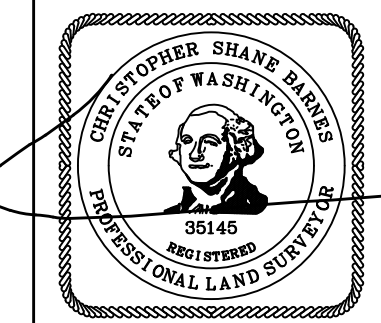
LEGAL DESCRIPTION
LOTS 1-4, KNUTSON SHORT PLAT, MERCER ISLAND SHORT PLAT NO SUB07-003 AS RECORDED UNDER REC. NO. 2007121090010.

- REFERENCES**
- ROS REC. NO. 20071210001864, VOL. 236, PG. 222.
 - MERCER ISLAND SHORT PLAT NO SUB07-003, REC. NO. 2007121090001.

- LEGEND**
- SET 1/2" X 24" REBAR WITH YELLOW PLASTIC CAP STAMPED "MGA 35145 48383"
 - FOUND CORNER
 - FOUND MONUMENT
 - TEMPORARY BENCHMARK
 - GAS VALVE
 - ELECTRICAL JUNCTION BOX
 - UTILITY POLE
 - CATCH BASIN - TYPE I
 - CATCH BASIN - TYPE II
 - STORM CLEANOUT
 - YARD DRAIN
 - SEWER MANHOLE
 - FIRE HYDRANT
 - HOSE BIB
 - WATER METER
 - WATER VALVE
 - BOLLARD
 - SIGN
 - SOIL TEST PIT
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - ASPHALT
 - FENCE LINE
 - OVERHEAD POWER LINES
 - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - GAS LINE
 - WATER MAIN
 - ASPHALT HATCH
 - CONCRETE HATCH
 - DECK HATCH
 - GRAVEL HATCH
 - CEDAR
 - DECIDUOUS
 - ELM
 - HEMLOCK
 - MAPLE
 - C/S
 - FF
 - FL
 - ST
 - CONC SLAB
 - FINISH FLOOR
 - FLOW LINE/ ASPH THICKENED EDGE
 - STAIRS

TAG TABLE			
TAG #	RADIUS	DIRECTION/Δ	LENGTH
L1		N 23°14'44" W	44.63
L2		N 02°05'47" E	17.18

DATE	REVISION	#



3/11/20

MEAD GILMAN
LAND SURVEYORS



FOREST AVE LOTS
BOUNDARY & TOPOGRAPHIC SURVEY
SEASCAPE HOMES
PO BOX 40568
BELLEVUE WA 98015

DRAWN BY: **LSD**
REVIEWED BY: **CSB**
DATE: **03-11-2020**
JOB NO. **20011**
SHEET **1 OF 1**

FOREST CREEK ESTATES LOT 4

SE1/4, NE1/4, SEC. 24, TWP. 24 N., RGE. 4 E., W.M.

PROJECT TEAM

OWNER:
SEASCAPE HOMES LLC
JON TELLEFSON
PO BOX 40568
BELLEVUE, WA 98015
PH: 206.972.9850
EMAIL: JNT1231@GMAIL.COM

ARCHITECT:
STURMAN ARCHITECTS
BRAD STURMAN
9 - 103RD AVENUE NE SUITE 203
BELLEVUE, WA 98004
PH: 425.451.7003
EMAIL: BRADS@STURMANARCHITECTS.COM

PROJECT ENGINEER:
PATRICK HARRON & ASSOCIATES, LLC
SCHWIN CHAOSILAPAKUL, PE
14900 INTERURBAN AVENUE S #279
SEATTLE, WA 98168
PH: 206.674.4659
EMAIL: SCHWIN@PATRICKHARRON.COM

PROJECT SURVEYOR:
MEAD GILMAN LAND SURVEYORS
P.O. BOX 289
WOODINVILLE, WA 98072
PH: 425.486.1252
EMAIL: WWW.MEADGILMAN.COM

GEOTECH:
GEOTECH CONSULTANTS INC
JIM STRANGE, P.E.
2401 10TH AVE E, SEATTLE, WA 98102
PH: 425.747.5618
EMAIL: JAMES@GEOTECHNW.COM

ARBORIST:
ARBOR INFO, LLC
THOMAS M. HANSON, CF, RCA
2406 N CASTLE WAY
BRICR, WA 98036
PH: 206.300.9711
EMAIL: TOM.HANSON@ARBORINFO.COM

PROJECT INFORMATION

DEVELOPMENT DATA:

SITE AREA 16,396 SF (0.376 AC)
SITE ADDRESS 5202 FOREST AVE SE
MERCER ISLAND, WA 98040
PARCEL NUMBER 141030-0063

LEGAL DESCRIPTION

LOTS 1-4, KNUTSON SHORT PLAT, MERCER ISLAND
SHORT PLAT NO SUB07-003 AS RECORDED UNDER
REC. NO. 2007121090010.

VERTICAL DATUM

NAVD 88 (GEOID 18)
BASED ON RAPID STATIC GPS MEASUREMENTS WITH
OPUS SOLUTION.

BENCHMARKS

TBM-A
FOUND 4"x4" CONC MON WITH 2" BRASS DISC
LS#2534 WITH PUNCH 0.3' BELOW GRADE IN CASE
69.6' NW OF NW PROP CORNER.
ELEV. = 104.53'

TBM-B
FOUND 1/2" REBAR AND MGA CONTROL CAP AT W
SIDE FOREST DRIVE, 0.5' W OF WEST EDGE ASPHALT
PAVEMENT AND 15.5' W OF CB-5078.
ELEV. = 113.94'

BASIS OF BEARINGS

NOT DONE YET

CRITICAL AREAS AND EASEMENT CALLOUTS:

- NATIVE GROWTH PROTECTION AREA (NGPA) BUFFER. ALL UTILITIES MUST REMAIN OUTSIDE OF NGPA BUFFER. OVER EXCAVATION FOR DETENTION PIPES SHALL NOT ENCRUCH INTO AREA.
- EXISTING NGPA SPLIT-RAIL FENCE WITH SIGNAGE. FENCE TO BE REPAIRED IF REQUIRED.
- SANITARY SEWER EASEMENT REC.NO. 5820490.
- PROPOSED PRIVATE STORM EASEMENT IN BENEFIT OF LOTS 1-3.

SITE, WATER, & SEWER CALLOUTS:

- BUILDING FOOTPRINT.
- ROOF LINE.
- CONCRETE DRIVEWAY.
- CONCRETE HARDSCAPE.
- CAST IN PLACE RETAINING WALL (TYP).
- BUILDING SETBACK LINE (TYP).
- CONNECT NEW 6" SEWER LINE WITH CLEANOUT TO EX. 6" SEWER STUB AT APPROX. IE 101.0±. PROVIDE MINIMUM OF 2% SLOPE AND CONNECT TO RESIDENCE AT APPROX. IE 101.9± PER CITY OF MERCER ISLAND DETAILS. COORDINATE WITH PUBLIC WORKS INSPECTOR FOR SCOPE AND RE-USE OF EXISTING LINE.
- NEW WATER METER REQUIRED. CAN BE SAME LOCATION AS EXISTING. SIZE OF METER AND LINE TO BE VERIFIED FOR DOMESTIC AND FIRE SERVICE DEMANDS. MINIMUM 1" WATER METER AND 1.5" SUPPLY LINE (FROM METER TO HOUSE) FOR DOMESTIC AND FIRE SYSTEM. DOUBLE DETECTOR CHECK VALVE ASSEMBLY TO BE PROVIDED AS REQUIRED. IF NEW SERVICE CONNECTION TO THE MAIN IS REQUIRED, NEAT LINE SAW-OUT FOR WATER LINE TRENCHING AND RESTORE PAVEMENT PER PER CITY OF MERCER ISLAND STANDARDS. SEE SHEET C1.2.

STORM CALLOUTS:

- NEW CATCH BASIN PROPOSED, CONNECT TO EXISTING OUTFALL STORM PIPE (EXACT DIAMETER AND ELEVATION OF PIPE UNKNOWN).
- PERIMETER DRAIN - 4" PERF. SD @ 0.0%, 4" IE 105.2. CONNECT TO CB#2 & CB#3.
- COLLECTION TRENCH PER DETAIL 1 ON C1.1.
- 4" FOOTING DRAIN SYSTEM TO EXTEND AROUND BUILDING PERIMETER. LOWEST IE TO BE 105.2. CONNECT TO 8" STORM SYSTEM ON SITE PER PLAN @ 2% MIN. REFER TO STRUCTURAL PLANS FOR FOOTING DRAIN DETAILS.
- 4" PERFORATED WALL FOOTING DRAIN SYSTEM TO CONNECT TO 8" STORM SYSTEM AT 2% MIN. AT APPROXIMATE LOCATION SHOWN. REFER TO STRUCTURAL PLANS FOR WALL FOOTING DRAIN DETAILS.
- 15" DIA. D.I. OR C900 SLEEVE TO EXTEND AT MINIMUM 2' BEYOND FOOTING. PROVIDE 1.5' MIN. COVER OVER SLEEVE BENEATH RETAINING WALLS.
- CLEANOUT PROPOSED AT PROPERTY LINE FOR FUTURE CONNECTION TO LOT 3 STORM SYSTEM.

ABBREVIATIONS:

APPRX	APPROXIMATELY	IE	PIPE INVERT
AVE	AVENUE	LP	LOW POINT
BC	BOTTOM OF CURB	M	MAPLE
BOT	BOTTOM	N	NORTH
BSSL	BUILDING SETBACK	TYP	TYPICAL
C	CEDAR	NTS	NOT TO SCALE
CB	CATCH BASIN	RD	ROOF DRAIN
CS	CONC SLAB	RY	REAR YARD
D	DECIDUOUS	S	SOUTH
DF	DRAINFIELD	SD	STORM DRAIN CLEANOUT
DTE	DOWN-TURNED ELBOW	SDMH	STORM DRAIN MANHOLE
E	ELM / EAST	SLL	SOLID LOCKING LID
EG	EXISTING GRADE	SS	SANITARY SEWER
EL	ELEVATION	SSCO	SANITARY SEWER CLEANOUT
EX	EXISTING	SSMH	SANITARY SEWER MANHOLE
FD	FOOTING DRAIN	ST	STAIRS
FF	FINISH FLOOR	SY	SIDE YARD
FG	FINISH GRADE	TD	TRENCH DRAIN
FL	FLOW LINE	UTE	UP-TURNED ELBOW
FY	FRONT YARD	W	WEST
H	HEMLOCK	WA	WATER
HP	HIGH POINT		

IMPERVIOUS AREA INVENTORY:

Description	Impervious Area Inventory (sf)			Total
	Roof, Drive, and HS	Walls	Offsite	
Lot 4	3,856	141	0	4,007
Lot 3*	5,007	93	253	5,353
Total	8,873	234	253	9,360

*Detention System sized to accommodate future improvements on Lot 3



VICINITY MAP

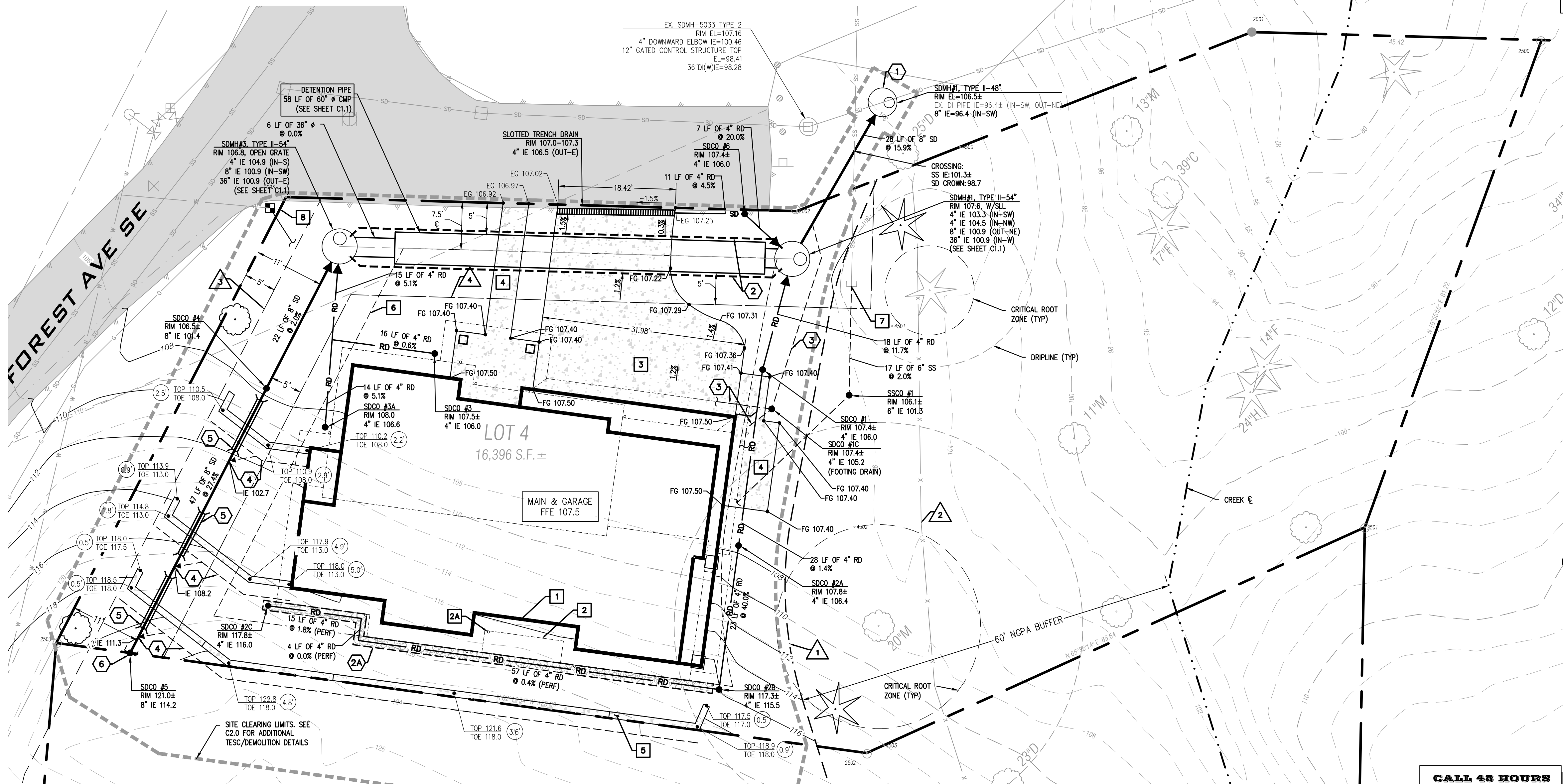
NST

SHEET LIST

SHEET #	SHEET ID	SHEET TITLE
1	C1.0	SITE, GRADING, STORM, & UTILITY PLAN
2	C1.1	STORM DETAILS
3	C1.2	WATER DETAILS
4	C2.0	TESC PLAN
5	C2.1	TESC DETAILS

LEGEND-EXISTING SITE FEATURES

- SET 1/2" X 24" REBAR WITH YELLOW PLASTIC CAP STAMPED "MGA 35145 48383"
- FOUND CORNER
- ⊕ FOUND MONUMENT
- ⊕ TEMPORARY BENCHMARK
- ⊕ GAS VALVE
- ⊕ ELECTRICAL JUNCTION BOX
- ⊕ UTILITY POLE
- ⊕ CATCH BASIN - TYPE I
- ⊕ CATCH BASIN - TYPE II
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- ⊕ SEWER MANHOLE
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- ⊕ SANITARY SEWER LINE
- ⊕ STORM DRAIN LINE
- ⊕ GAS LINE
- ⊕ WATER MAIN
- ⊕ ASPHALT HATCH
- ⊕ CONCRETE HATCH



SITE, GRADING, STORM, & UTILITY PLAN

SCALE: 1"=10'

CALL 48 HOURS BEFORE YOU DIG 811

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 1-800-424-5555 OR 811 (CELL) A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

BY	DATE	DESCRIPTION
MM		REVISED PER CITY LIST COMMENTS
MM		CLEARING LIMIT PER ARBORIST COMMENTS
	04/26/21	



BUILDING PERMIT
**SITE, GRADING,
STORM, & UTILITY
PLAN**



PROJ. NO. 20113
DWN. BY: CWA
DIN. BY: SC
CHK. BY: SC

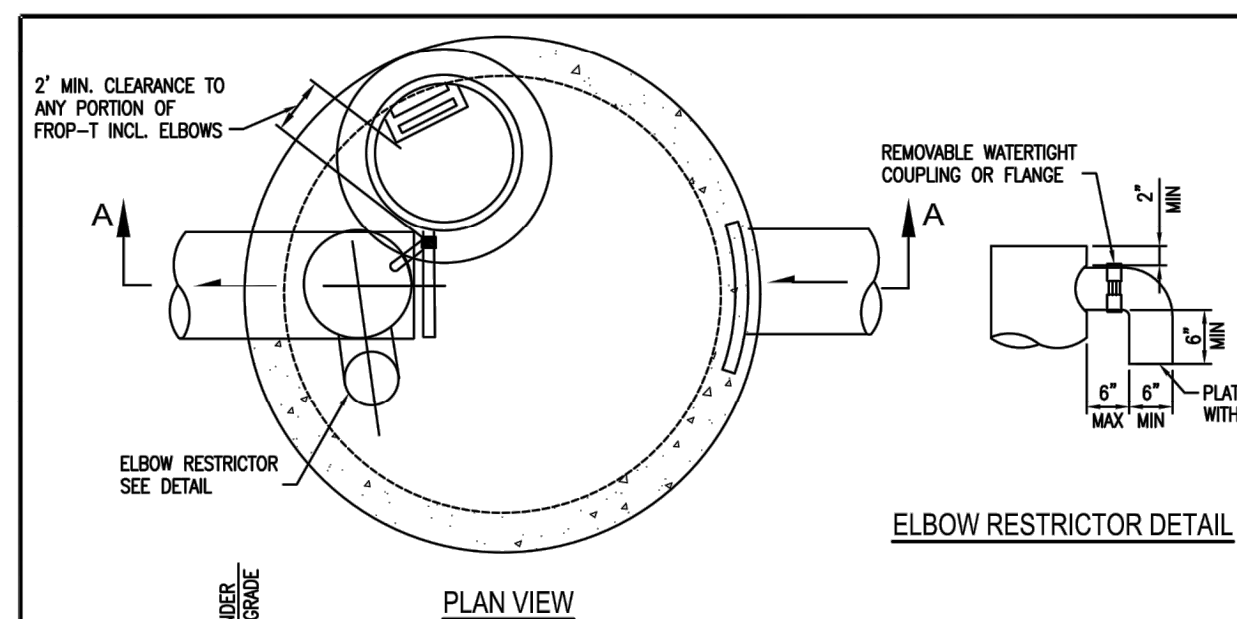
FOREST CREEK ESTATES
LOT 4
5202 FOREST AVE SE, MERCER ISLAND, WA 98040

DATE: 04/26/2021
SCALE: AS NOTED
DRAWING NO. C1.0
1 OF 5

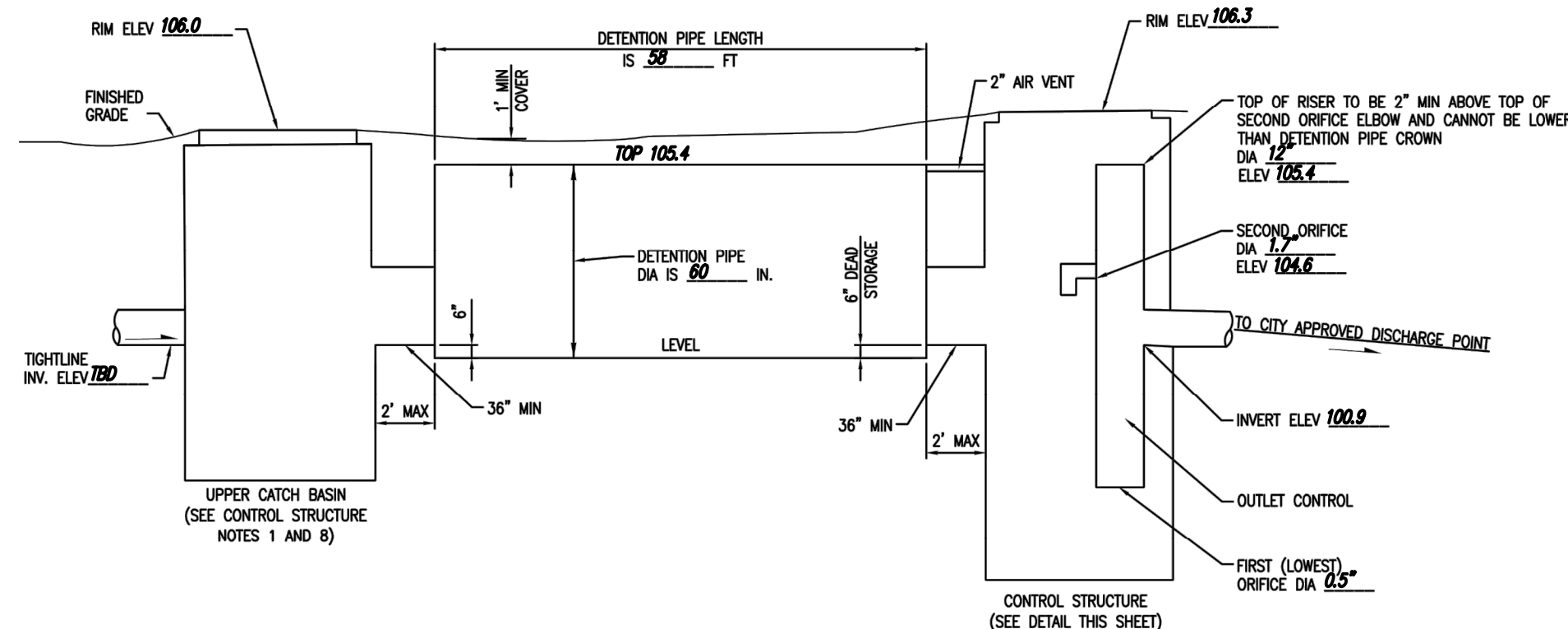
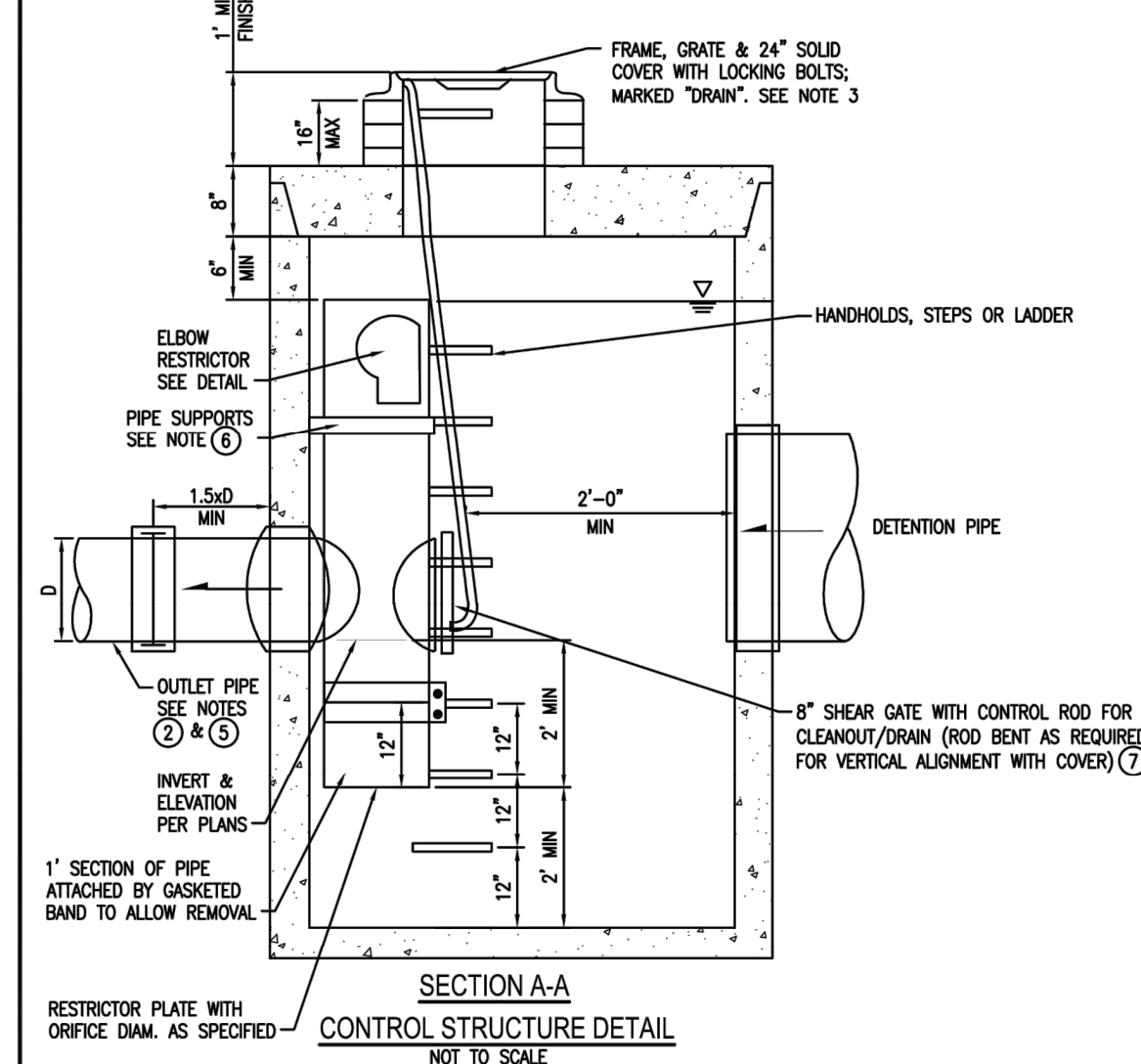
FOREST CREEK ESTATES LOT 4

SE1/4, NE1/4, SEC. 24, TWP. 24 N., RGE. 4 E., W.M.

ATTACHMENT 1 CITY OF MERCER ISLAND ON-SITE DETENTION SYSTEM WORKSHEET (FOR NEW PLUS REPLACED IMPERVIOUS AREA OF 9,500 SF OR LESS)



OWNER: JON TELLEFSON ADDRESS: 3006 W MERCER WAY PREPARED BY: SOHINI CHAKRABARTY, PE
 PERMIT #: TBD MERCER ISLAND, WA 98040 PHONE: 206.384.7539
 NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SF): 9,107 SF DETENTION PIPE DIA (INCH): 80" DETENTION PIPE LENGTH (FT): 59 LF ORIFICE #1 DIA 0.5" INCH, ELEV 98.9
 SOIL TYPE: C PIPE MATERIAL: CMP ORIFICE #2 DIA 1.7" INCH, ELEV 104.6
 DATE: 2/18/21
 *INCLUDES FUTURE IMPROVEMENTS ON LOT 3



- CONTROL STRUCTURE NOTES:**
- USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
 - OUTLET PIPE: MIN. 6 INCH.
 - METAL PARTS: CORROSION RESISTANT, NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
 - FRAME AND LADDER OR STEPS OFFSET SO:
 - A. CLEANOUT GATE IS VISIBLE FROM TOP;
 - B. CLIMB-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE;
 - C. FRAME IS CLEAR OF CURB.
 - IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
 - PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MAXIMUM 3'-0" VERTICAL SPACING).
 - THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 284 AND ASTM B 275, DESIGNATION 2532A; OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 30B. THE LEFT HANDLE SHALL BE MADE OF A SIMILAR METAL TO THE GATE (TO PREVENT GALVANIC CORROSION). IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LD AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
 - THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.

- ON-SITE DETENTION SYSTEM NOTES:**
- CALL DEVELOPMENT SERVICES (206-275-7605) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
 - RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
 - PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.05 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING: LINED CORRUGATED POLYETHYLENE PIPE (LCP), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS ASHTO DESIGNATIONS M274 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
 - FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.

CITY OF MERCER ISLAND ON-SITE DETENTION SYSTEM WORKSHEET

SCALE: N/A

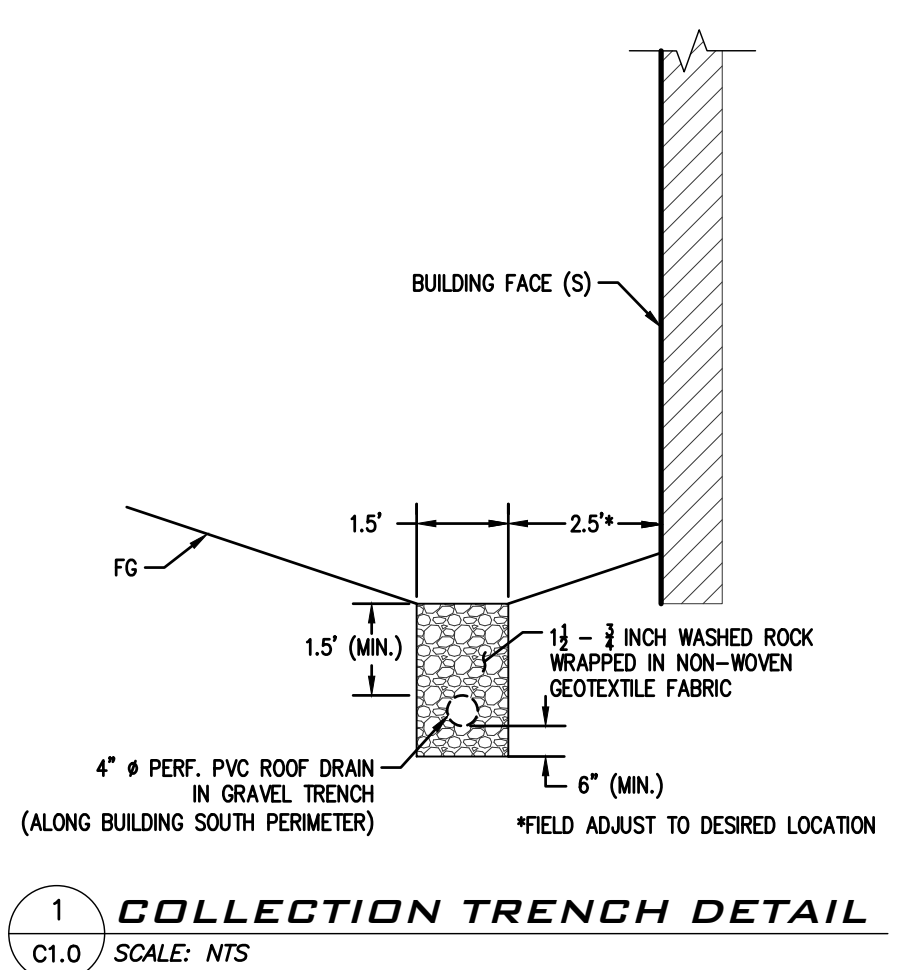


Table 1

ON-SITE DETENTION DESIGN FOR PROJECTS BETWEEN 500 SF AND 9,500 SF NEW PLUS REPLACED IMPERVIOUS SURFACE AREA

New and Replaced Impervious Surface Area (sf)	Detention Pipe Diameter (in)	Detention Pipe Length (ft)		Lowest Orifice Diameter (in) ⁽¹⁾		Distance from Outlet Invert to Second Orifice (ft)		Second Orifice Diameter (in)	
		B soils	C soils	B soils	C soils	B soils	C soils	B soils	C soils
500 to 1,000 sf	36"	30	22	0.5	0.5	2.2	2.0	0.5	0.8
	48"	18	11	0.5	0.5	3.3	3.2	0.9	0.8
	60"	11	7	0.5	0.5	4.2	3.4	0.5	0.6
1,001 to 2,000 sf	36"	66	43	0.5	0.5	2.2	2.3	0.9	1.4
	48"	34	23	0.5	0.5	3.2	3.3	0.9	1.2
	60"	22	14	0.5	0.5	4.3	3.6	0.9	0.9
2,001 to 3,000 sf	36"	90	66	0.5	0.5	2.2	2.4	0.9	1.9
	48"	48	36	0.5	0.5	3.1	2.8	0.9	1.5
	60"	30	20	0.5	0.5	4.2	3.7	0.9	1.1
3,001 to 4,000 sf	36"	120	78	0.5	0.5	2.4	2.2	1.4	1.6
	48"	62	42	0.5	0.5	2.8	2.9	0.8	1.3
	60"	42	26	0.5	0.5	3.8	3.9	0.9	1.3
4,001 to 5,000 sf	36"	134	91	0.5	0.5	2.8	2.2	1.7	1.5
	48"	73	49	0.5	0.5	3.6	2.9	1.6	1.5
	60"	46	31	0.5	0.5	4.6	3.5	1.6	1.3
5,001 to 6,000 sf	36"	162	109	0.5	0.5	2.7	2.2	1.8	1.6
	48"	90	59	0.5	0.5	3.5	2.9	1.7	1.5
	60"	54	37	0.5	0.5	4.6	3.6	1.6	1.4
6,001 to 7,000 sf	36"	192	128	0.5	0.5	2.7	2.2	1.9	1.8
	48"	102	68	0.5	0.5	3.7	2.9	1.9	1.6
	60"	64	43	0.5	0.5	4.6	3.6	1.8	1.5
7,001 to 8,000 sf	36"	216	146	0.5	0.5	2.8	2.2	2.0	1.9
	48"	119	79	0.5	0.5	3.8	2.9	2.2	1.7
	60"	73	49	0.5	0.5	4.5	3.6	2.0	1.6
8,001 to 8,500 sf ⁽¹⁾	36"	228	155	0.5	0.5	2.8	2.2	2.1	1.9
	48"	124	84	0.5	0.5	3.7	2.9	1.9	1.8
	60"	77	53	0.5	0.5	4.6	3.6	2.0	1.6
8,501 to 9,000 sf	36"	NA ⁽¹⁾	164	0.5	0.5	NA ⁽¹⁾	2.2	NA ⁽¹⁾	1.9
	48"	NA ⁽¹⁾	89	0.5	0.5	NA ⁽¹⁾	2.9	NA ⁽¹⁾	1.9
	60"	NA ⁽¹⁾	55	0.5	0.5	NA ⁽¹⁾	3.6	NA ⁽¹⁾	1.7
9,001 to 9,500 sf ⁽²⁾	36"	NA ⁽¹⁾	174	0.5	0.5	NA ⁽¹⁾	2.2	NA ⁽¹⁾	2.1
	48"	NA ⁽¹⁾	94	0.5	0.5	NA ⁽¹⁾	2.9	NA ⁽¹⁾	2.0
	60"	NA ⁽¹⁾	58	0.5	0.5	NA ⁽¹⁾	3.7	NA ⁽¹⁾	1.7

Notes:

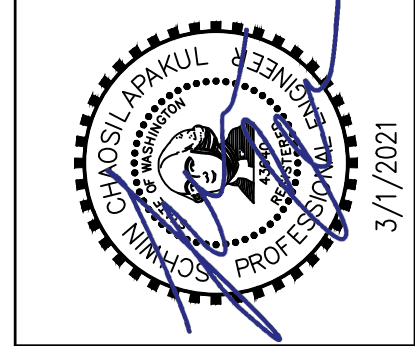
- Minimum Requirement #7 (Flow Control) is required when the 100-year flow frequency causes a 0.15 cubic feet per second increase (when modeled in WWHM with a 15-minute timestep). Breakpoints shown in this table are based on a flat slope (0-5%). The 100-year flow frequency will need to be evaluated on a site-specific basis for projects on moderate (5-15%) or steep (> 15%) slopes.
- Soil type to be determined by geotechnical analysis or soil map.
- Sizing includes a Volume Correction Factor of 120%.
- Upper bound contributing area used for sizing.
- On Type B soils, new plus replaced impervious surface areas exceeding 8,500 sf trigger Minimum Requirement #7 (Flow Control)
- On Type C soils, new plus replaced impervious surface areas exceeding 9,500 sf trigger Minimum Requirement #7 (Flow Control)
- Minimum orifice diameter = 0.5 inches
- in = inch
- ft = feet
- sf = square feet

Basis of Sizing Assumptions:
 Sized per MR#5 in the Stormwater Management Manual for Puget Sound Basin (1992 Ecology Manual)
 SBUH, Type 1A, 24-hour hydrograph
 2-year, 24-hour storm = 2 in; 10-year, 24-hour storm = 3 in; 100-year, 24-hour storm = 4 in
 Predeveloped = second growth forest (CN = 72 for Type B soils, CN = 81 for Type C soils)
 Developed = impervious (CN = 98)
 0.5 foot of sediment storage in detention pipe
 Overland slope = 5%

Last updated 1-26-18

2

BY	DESCRIPTION
MW	
	REVISED PER CITY IST COMMENTS



BUILDING PERMIT
STORM DETAILS

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 Civil Engineering & Planning
 14900 Interurban Ave. S, Suite 279, Seattle, WA 98168
 Phone: 206-674-4659 / Fax: 206-674-4660
 Web: patrickharron.com

PROJ. NO. 20113	DSN. BY: SC
DWN. BY: CWA	CHK. BY: SC

FOREST CREEK ESTATES
 LOT 4
 5202 FOREST AVE SE, MERCER ISLAND, WA 98040

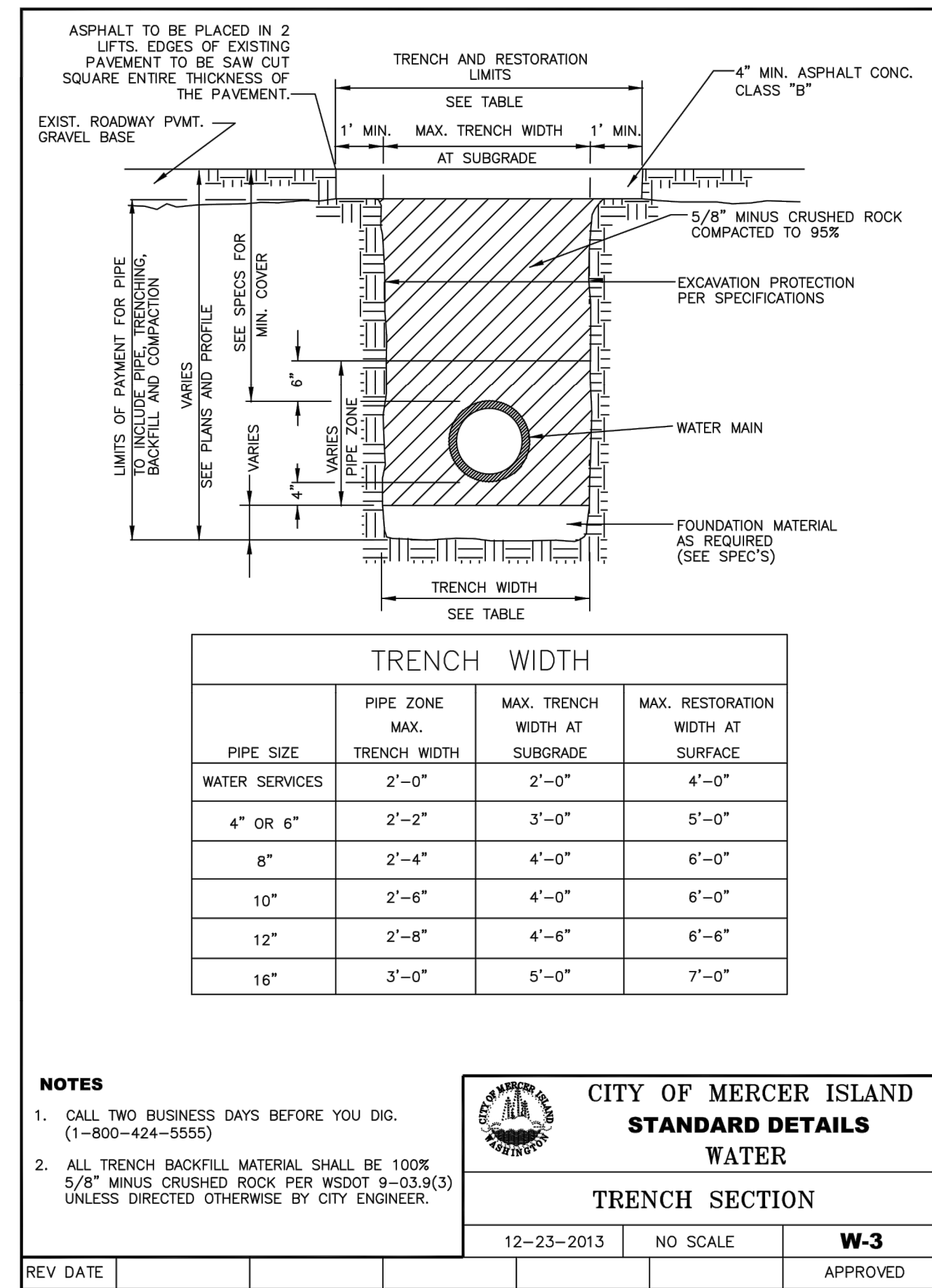
DATE: 3/1/2021
SCALE: AS SHOWN
DRAWING NO. C1.1 2 OF 5

CALL 48 HOURS BEFORE YOU DIG 811

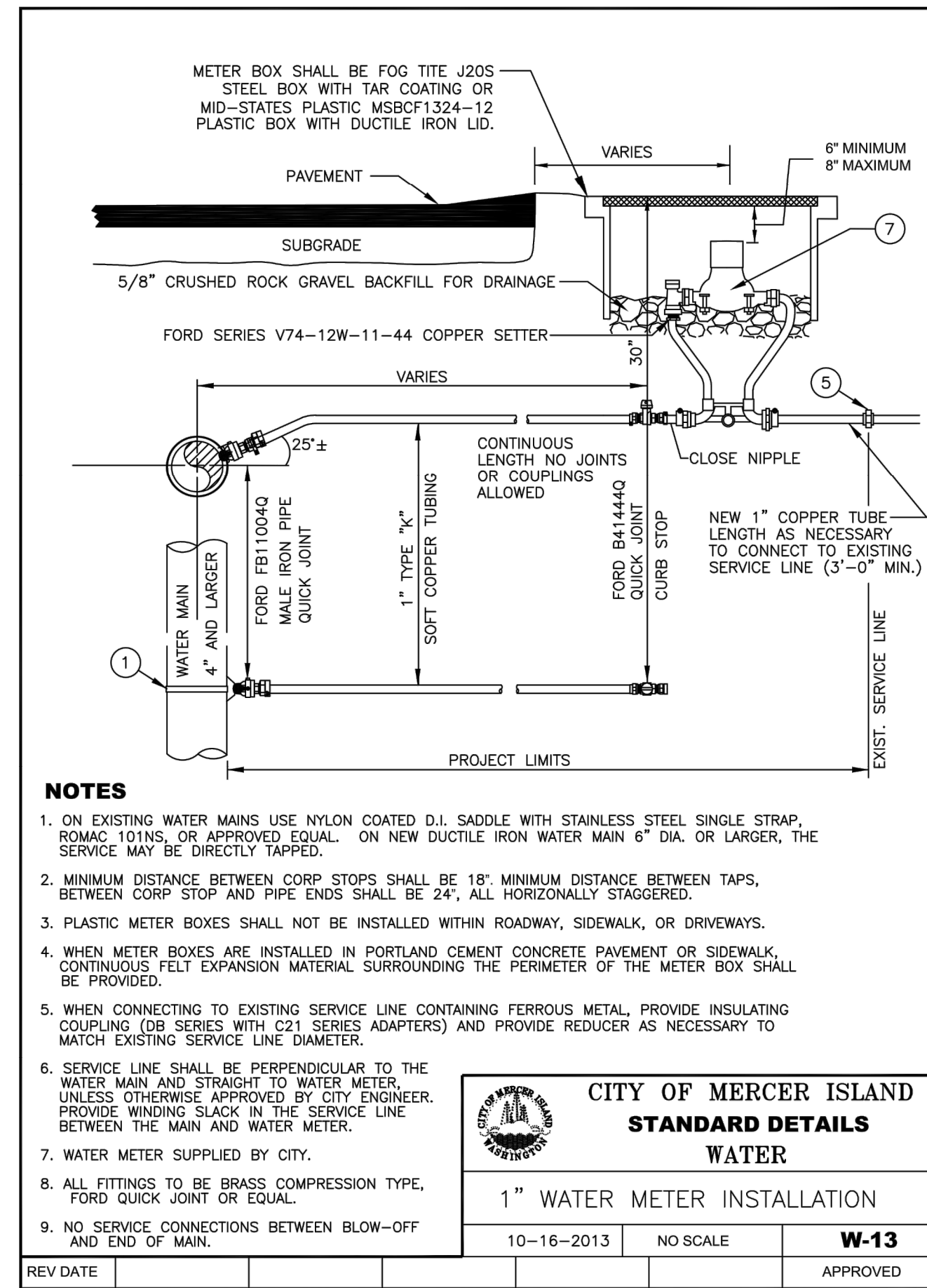
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 1-800-424-5555 OR 811 (CELL) A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

FOREST CREEK ESTATES LOT 4

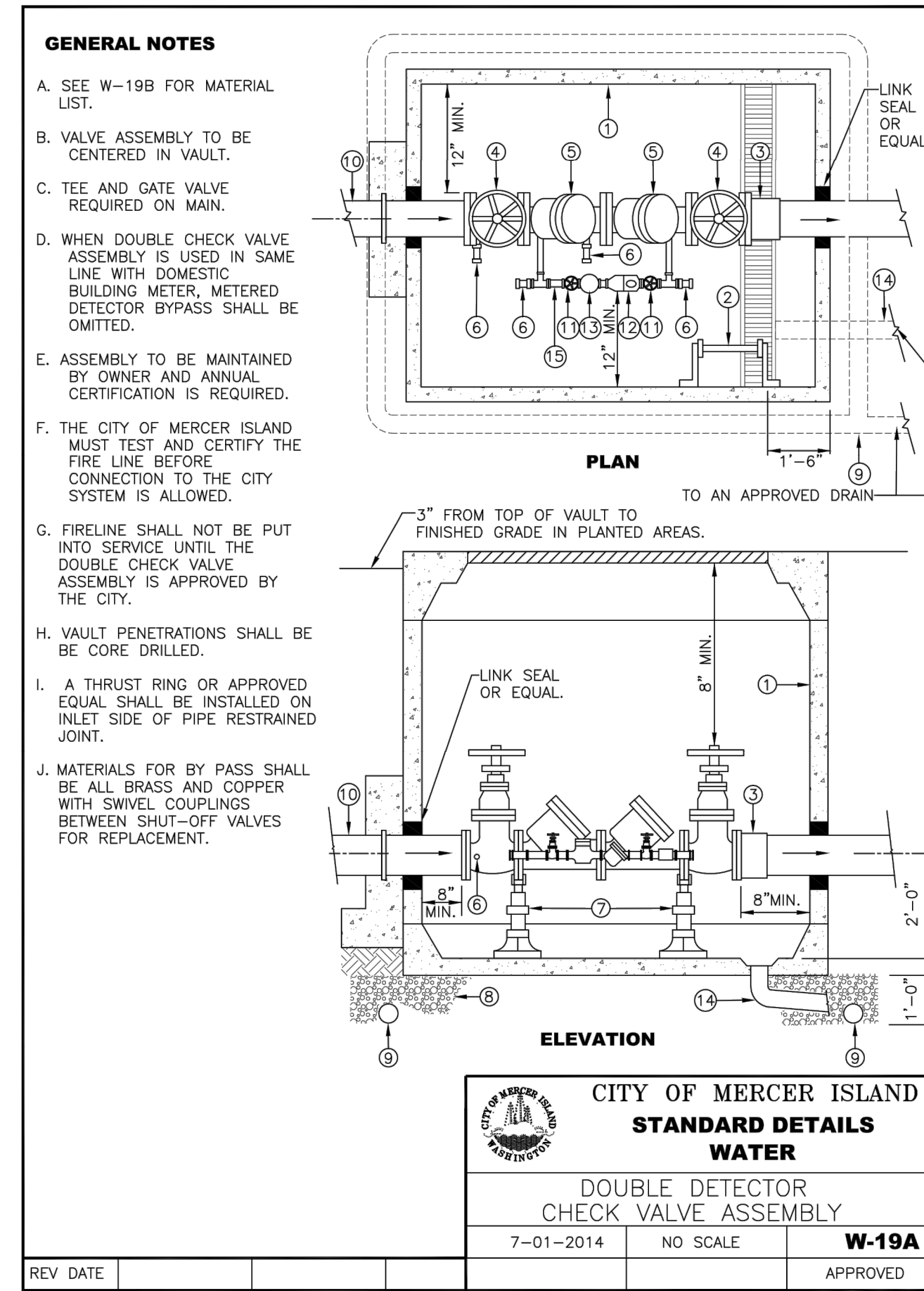
SE1/4, NE1/4, SEC. 24, TWP. 24 N., RGE. 4 E., W.M.



1 STANDARD DETAIL - W-3
C1.0 SCALE: AS NOTED

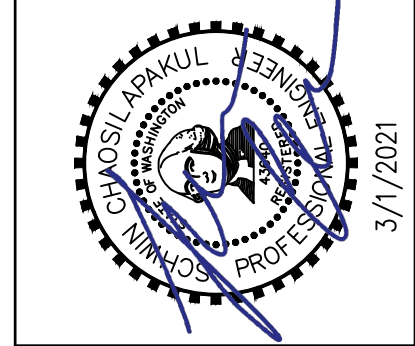


2 STANDARD DETAIL - W-13
C1.0 SCALE: AS NOTED



3 STANDARD DETAIL - W-19A
C1.0 SCALE: AS NOTED

BY	DESCRIPTION	DATE	REVISED PER CITY	IST COMMENTS
MW		03/01/21		



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WATER DETAILS

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DWN. BY	CWA	CHK. BY	SC

FOREST CREEK ESTATES LOT 4

5202 FOREST AVE SE, MERCER ISLAND, WA 98040

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SCALE	AS SHOWN
DRAWING NO.	C1.2
	3 OF 5

CALL 48 HOURS BEFORE YOU DIG 811

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FOREST CREEK ESTATES LOT 4

SE1/4, NE1/4, SEC. 24, TWP. 24 N., RGE. 4 E., W.M.

TESC LEGEND

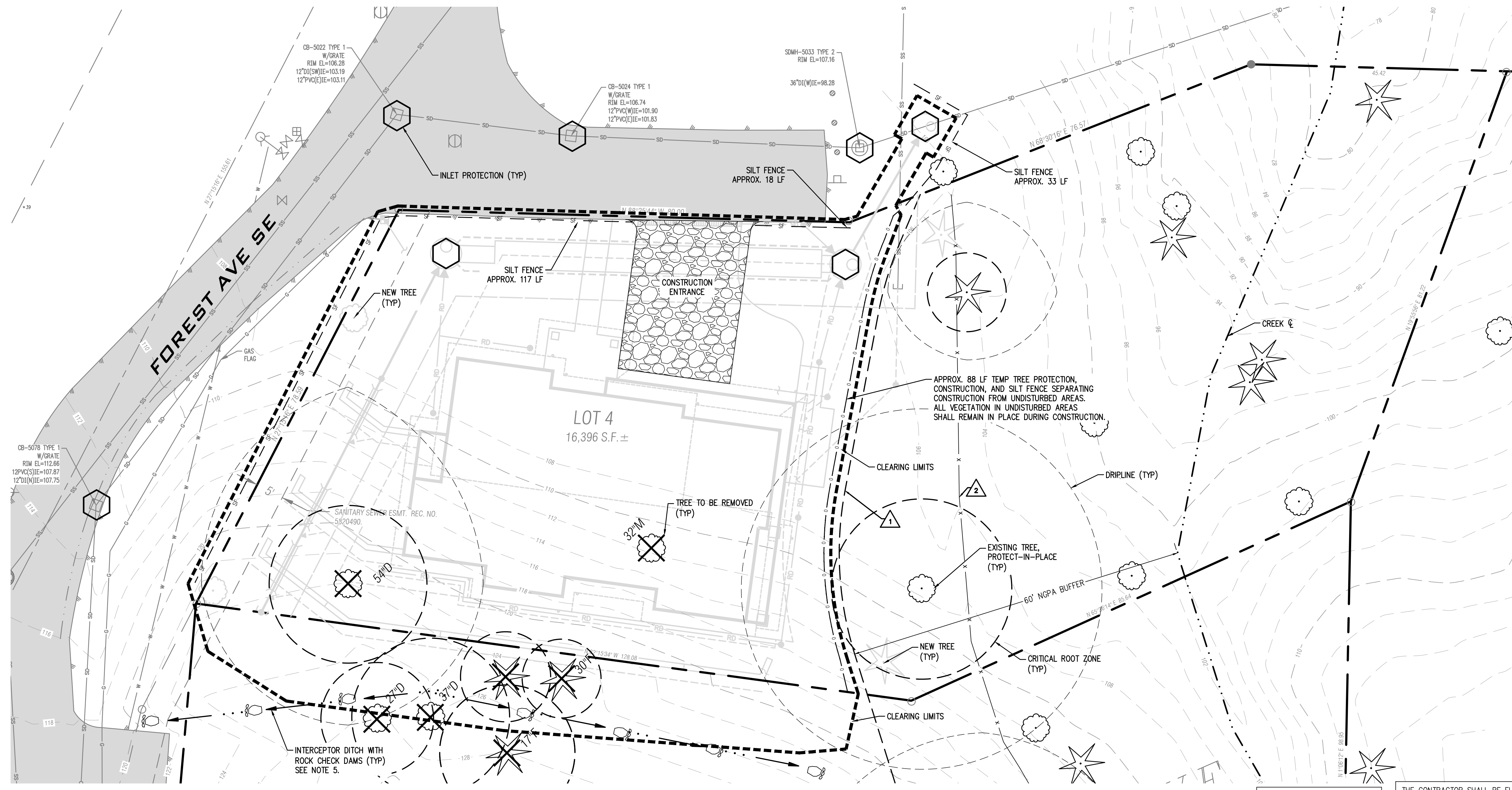
- INLET PROTECTION
- TREE REMOVAL
- TEMPORARY SWALE AND CHECK DAM
- CLEARING LIMITS ENTIRE PROPERTY OUTSIDE OF TREE PROTECTION AREA
- SILT FENCE
- TREE PROTECTION FENCE
- CONSTRUCTION ENTRANCE

CRITICAL AREAS:

1. NATIVE GROWTH PROTECTION AREA (NGPA) BUFFER. ALL UTILITIES MUST REMAIN OUTSIDE OF NGPA BUFFER. OVER EXCAVATION FOR DETENTION PIPES SHALL NOT ENCR OACH INTO AREA.
2. EXISTING NGPA SPLIT-RAIL FENCE WITH SIGNAGE. FENCE TO BE REPAIRED IF REQUIRED.

TESC NOTES:

1. CLEARING LIMITS SHOWN ARE APPROXIMATE AND REPRESENT THE MINIMUM REQUIRED TO INSTALL PROPOSED IMPROVEMENTS. CLEARING LIMITS MAY BE ADJUSTED TO FIT FIELD CONDITIONS BUT SHALL NOT ENCR OACH WITHIN CRITICAL ROOT ZONES OF TREES TO BE RETAINED; COORDINATE WITH PROJECT ARBORIST TO DETERMINE CRITICAL ROOT ZONES FOR DISTURBANCE WITHIN TREE DRIP LINES.
2. SILT FENCING TO BE INSTALLED ALONG DOWN-SLOPE OF AREAS TO BE DISTRIBUTED WITHIN THE PROPERTY. ADJUST AS REQUIRED WITH CHANGES TO CLEARING LIMITS.
3. THIS TESC PLAN IS PROVIDED TO SHOW THE MINIMUM MEASURES REQUIRED TO CONTROL EROSION AND SEDIMENT TRANSPORT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROPRIATE MEASURES FOR CHANGING SITE CONDITIONS.
4. REFER TO ARCHITECTURAL TREE PLANS FOR ADDITIONAL TREE REMOVAL AND REPLACEMENT DETAILS.
5. INSTALL INTERCEPTOR DITCH WITH ROCK CHECK DAMS UPSTREAM OF PROJECT SITE TO DIVERT FLOWS AWAY FROM TEMPORARY EXCAVATION. PROVIDE TEMPORARY DISPERSION DEVICES SUCH AS A 10'Lx2'Wx1.5'D ROCK TRENCH OR EQUIVALENT FOR FLOWS DIRECTED TO THE EAST TOWARDS SLOPE AND NGPA.
6. REFER TO GEOTECH REPORT FOR RECOMMENDATIONS ON EXCAVATION AND SLOPES.

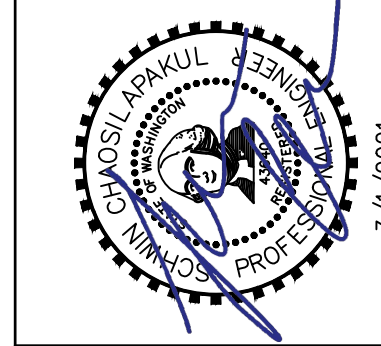


TESC PLAN
SCALE: 1"=10'

**CALL 48 HOURS
BEFORE YOU DIG
811**

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BY	DESCRIPTION	DATE	REVISED PER CITY	IST COMMENTS	MW
		03/01/21			



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TESC PLAN



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DWN BY CWA	CHK BY SC

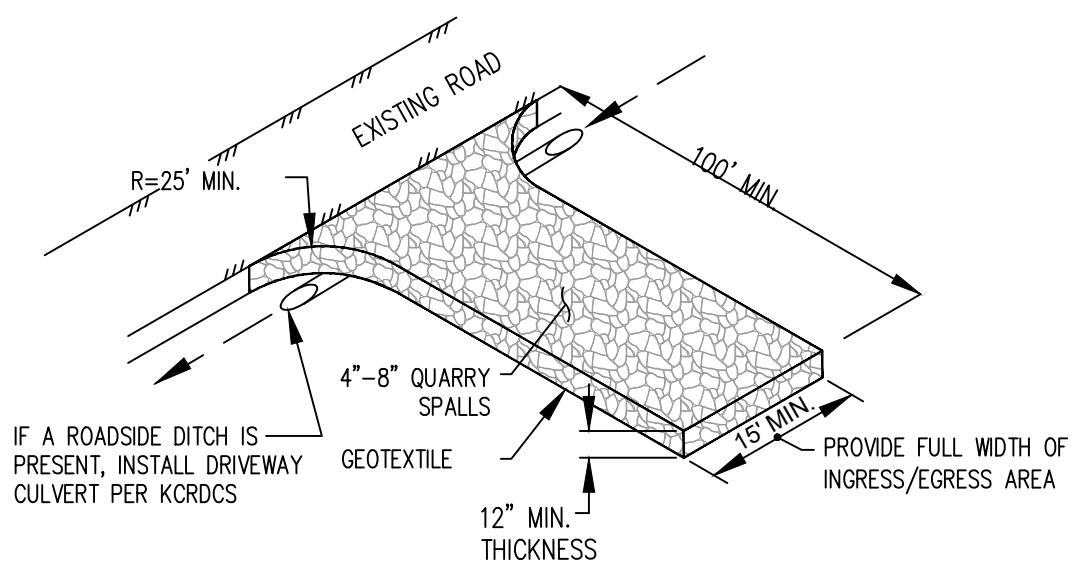
**FOREST CREEK ESTATES
LOT 4**

5202 FOREST AVE SE, MERCER ISLAND, WA 98040

DATE: 3/1/2021	SCALE: AS SHOWN
DRAWING NO. C2.0	
4 OF 5	

FOREST CREEK ESTATES LOT 4

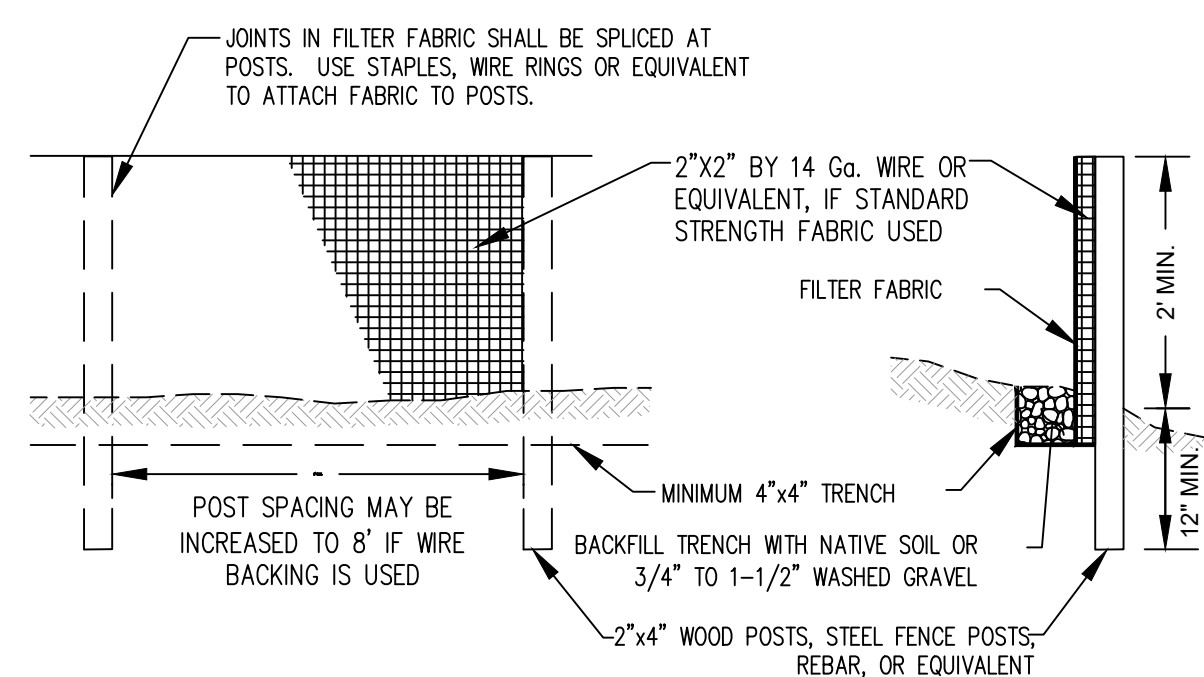
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NOTES:

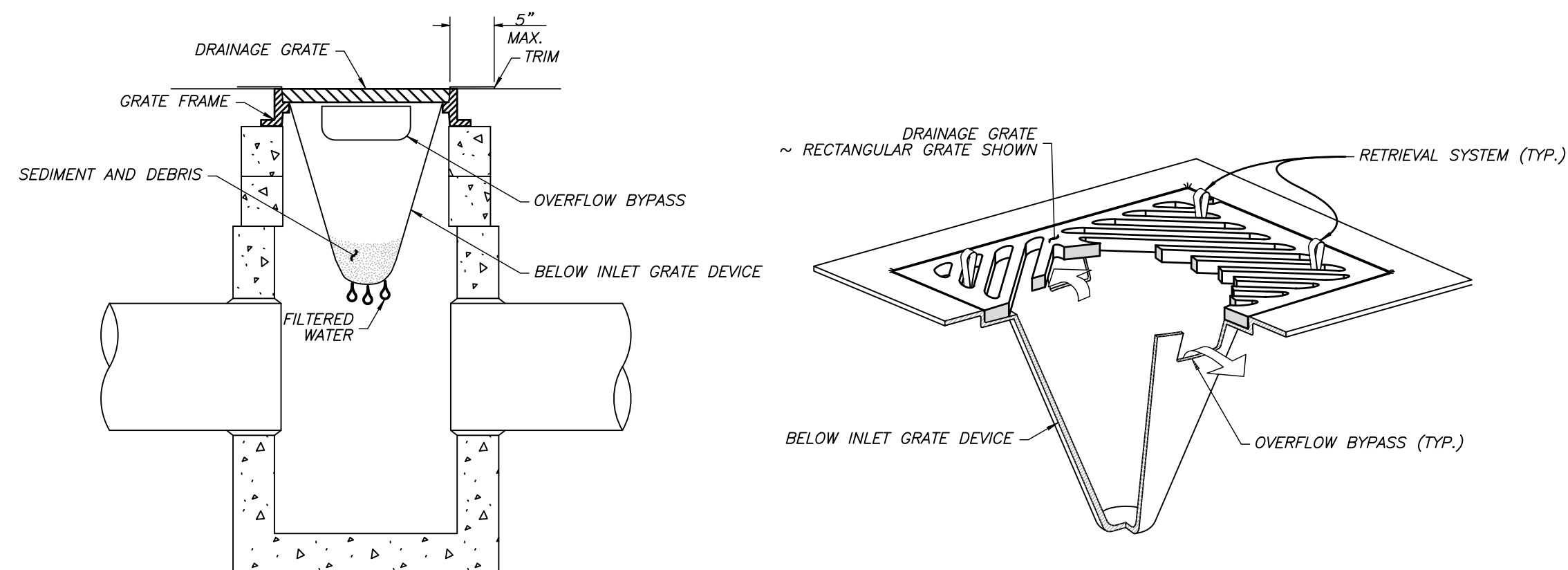
- PER KING COUNTY ROAD DESIGN AND CONSTRUCTION STANDARDS (KCRDCS), DRIVEWAYS SHALL BE PAVED TO EDGE OF R-O-W PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY.
- IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE PAD.

1 CONSTRUCTION ENTRANCE
C2.0 SCALE: NTS



NOTE: FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOURS WHENEVER POSSIBLE

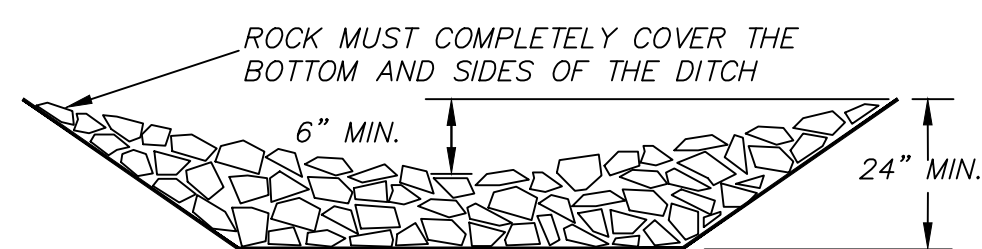
2 SILT FENCE
C2.0 SCALE: NTS



NOTES:

- SIZE THE BELOW INLET GRATE DEVICE (BIGD) FOR THE STORM WATER STRUCTURE IT WILL SERVE.
- THE BIGD SHALL HAVE A BUILT-IN HIGH-FLOW RELIEF SYSTEM (OVERFLOW BYPASS).
- THE RETRIEVAL SYSTEM MUST ALLOW REMOVAL OF THE BIGD WITHOUT SPILLING THE COLLECTED MATERIAL.
- PERFORM MAINTENANCE IN ACCORDANCE WITH STANDARD SPECIFICATION 8-01.3(15).

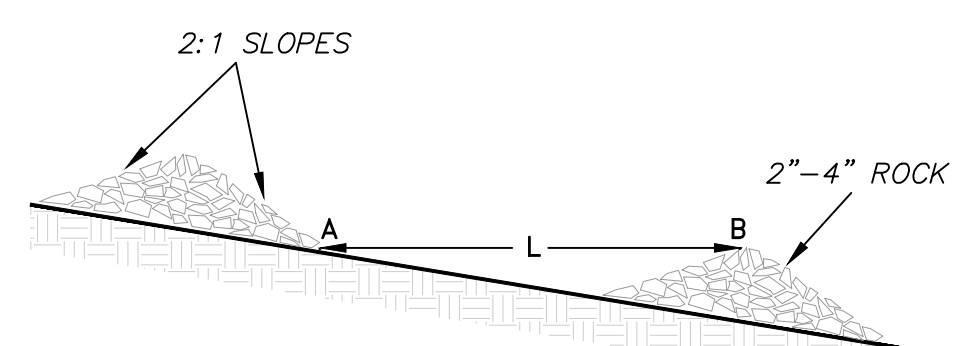
3 CATCH BASIN INLET PROTECTION
C2.0 SCALE: NTS



DITCH SLOPE	CHECK DAM SPACING
0 - 5%	150 FEET
5 - 10%	100 FEET
10%	50 FEET

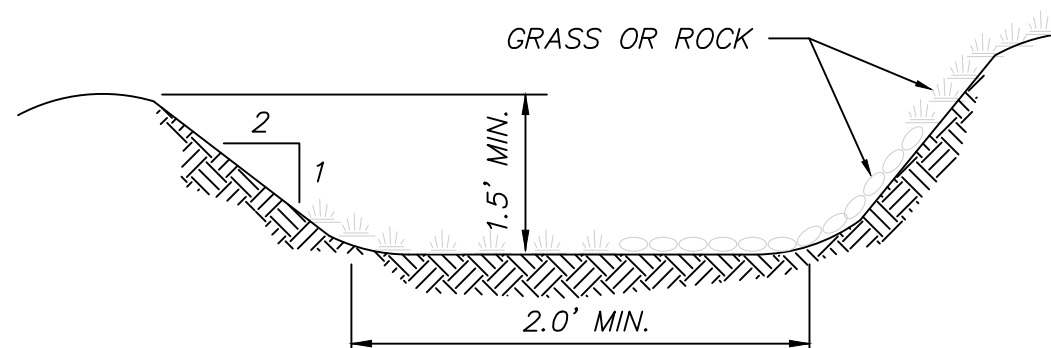
NOTES:

- ROCK CHECK DAMS SHALL BE OF 2" TO 8" FACE, SOUND QUARRY ROCK.
- ROCK CHECK DAMS SHALL BE 1' HIGH IN THE CENTER AND A MINIMUM OF 0.5' HIGHER ON THE SIDES.
- CHECK DAMS SHALL BE TOED IN AT THE BASE A MINIMUM OF 0.5' TO PREVENT EROSION.
- CHECK DAMS SHALL BE CONSTRUCTED IN SUCH A MANNER THAT THE ROCK IS FIRMLY PLACED WITH A MINIMUM OF SPACE BETWEEN ROCKS.
- THE FACES OF THE DAM SHALL BE SMOOTH WITH NO ROCKS PROTRUDING MORE THAN 2".

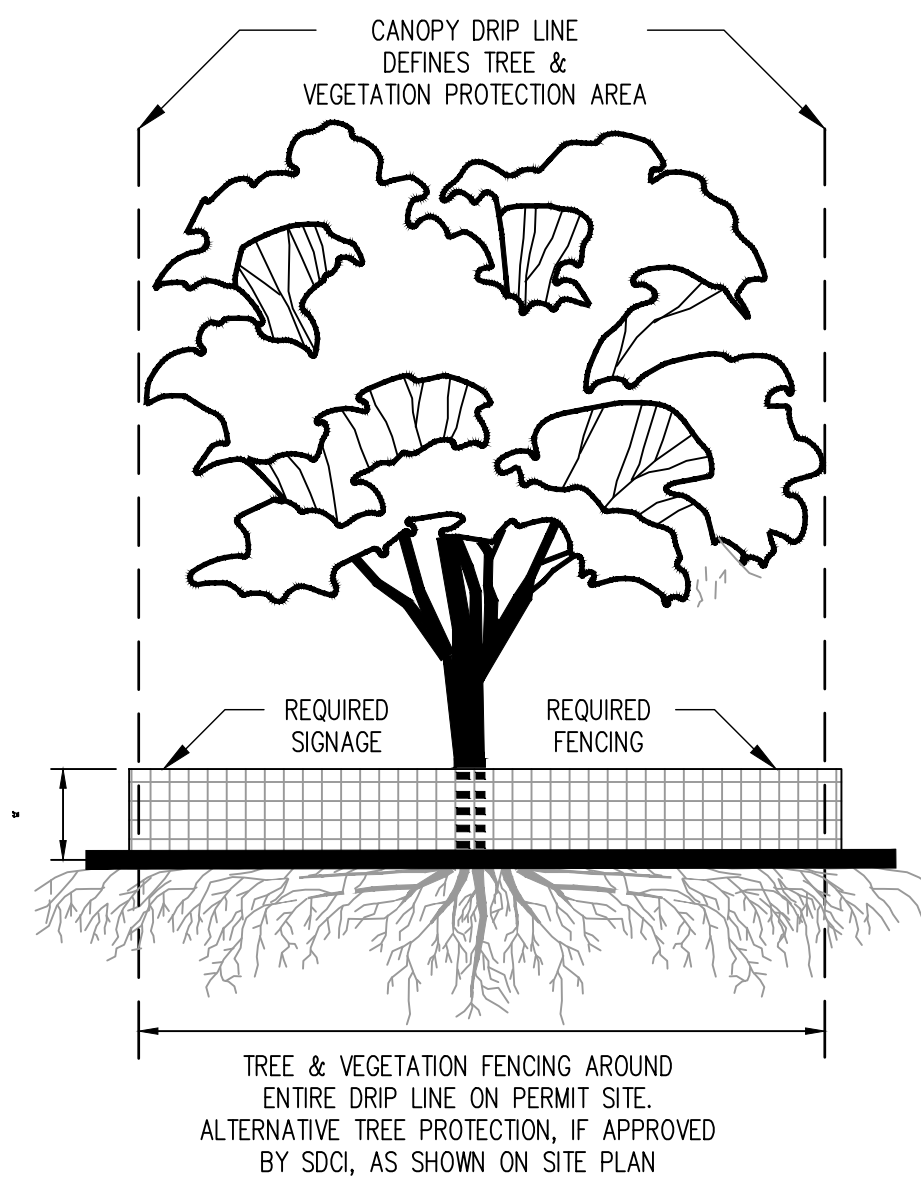


L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION

4 ROCK CHECK DAMS
C2.0 SCALE: NTS



5 INTERCEPTOR DITCH
C2.0 SCALE: NTS



6 TREE & VEGETATION PROTECTIVE FENCE
C2.0 SCALE: NTS

TREE PROTECTION FENCING AND SIGN

- CHAIN LINK, WIRE MESH, OR SIMILAR OPEN RIGID MATERIAL (NO PLYWOOD)
- MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE
- KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
- NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA: MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING, OR WASHING
- MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF SDCI PLANNER ONLY
- IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
- USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

VEGETATION PROTECTION

- ORANGE MESH OR SIMILAR OPEN MATERIAL
- MINIMIZE CONSTRUCTION ZONE
- PROTECT VEGETATION OUTSIDE CONSTRUCTION ZONE WITH FENCING AS SHOWN
- USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

CALL 48 HOURS BEFORE YOU DIG 811

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DATE	DESCRIPTION	BY
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TESC DETAILS

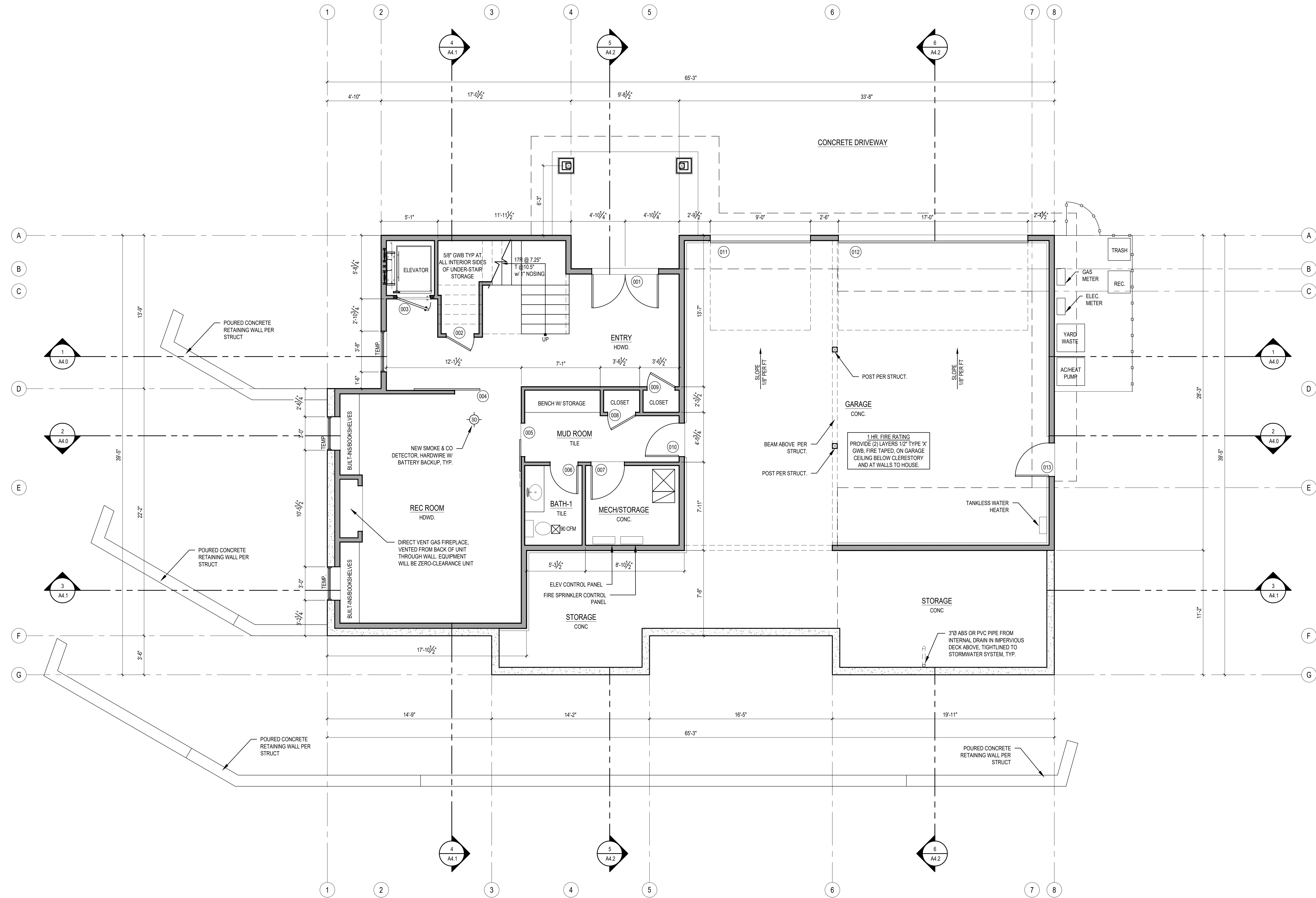
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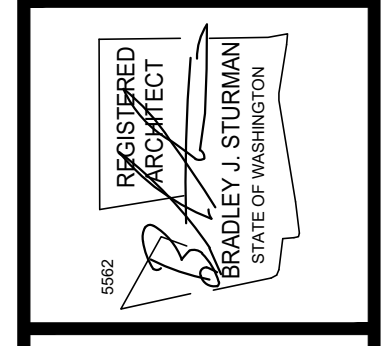
FOREST CREEK ESTATES
LOT 4

5202 FOREST AVE SE, MERCER ISLAND, WA 98040

DATE	3/1/2021
SCALE	AS SHOWN
DRAWING NO.	C2.1
	5 OF 5



1 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



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FOREST CREEK ESTATES LOT 4
PERMIT SET
5202 FOREST AVE S.E.
MERCER ISLAND, WA 98040

MAIN FLOOR PLAN

REVISIONS:	DATE	BY
2021-07-18 PERMIT CORRECTIONS		

DRAWN BY: KE

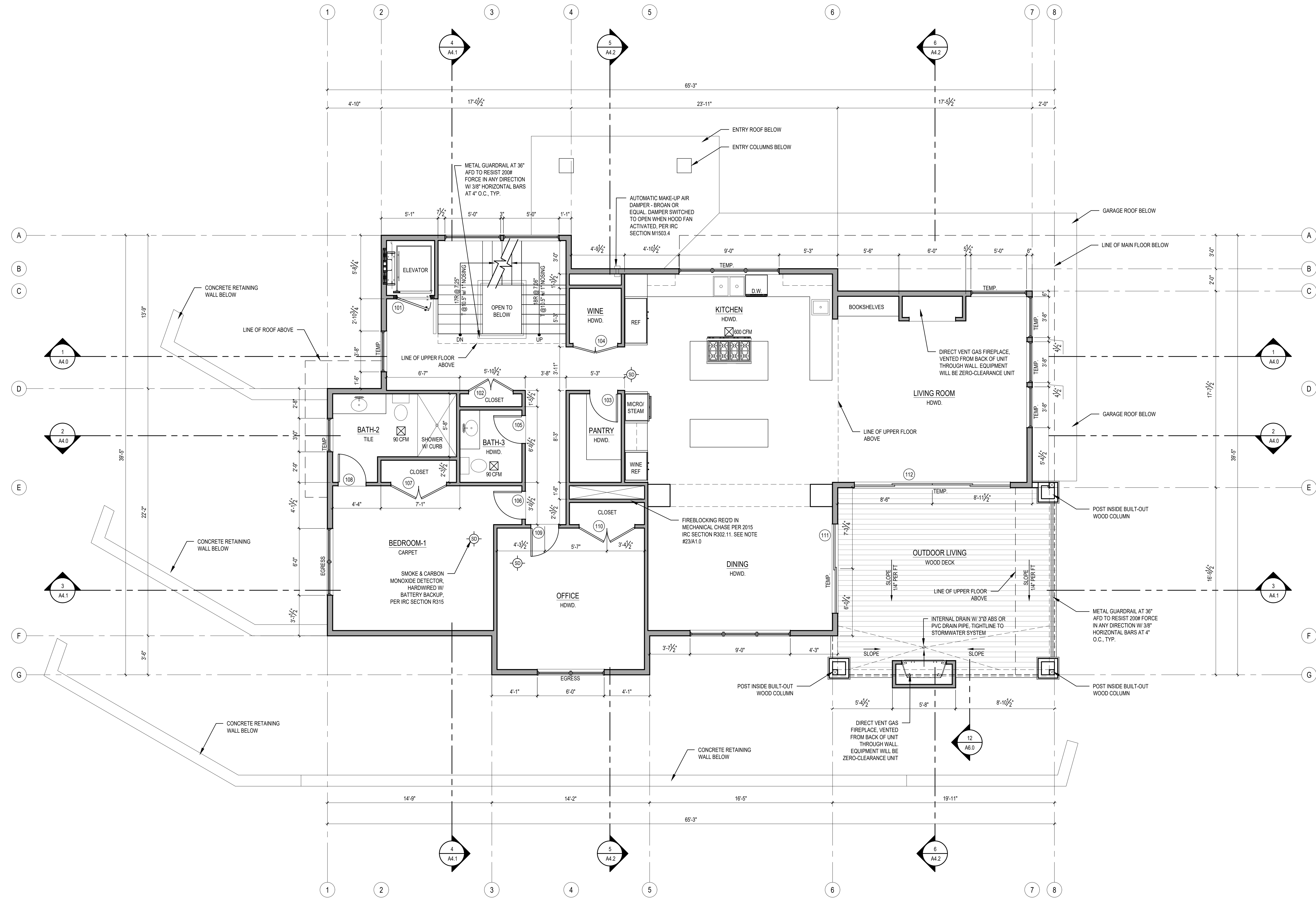
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SHEET

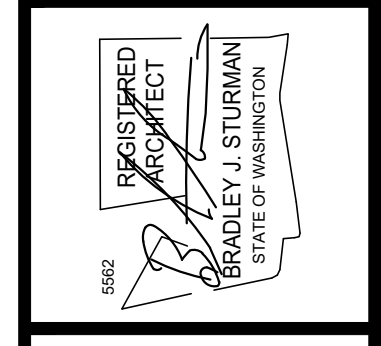
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SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 05/06/21

PLOT DATE: 5/6/2021



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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FOREST CREEK ESTATES LOT 4
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SECOND FLOOR PLAN

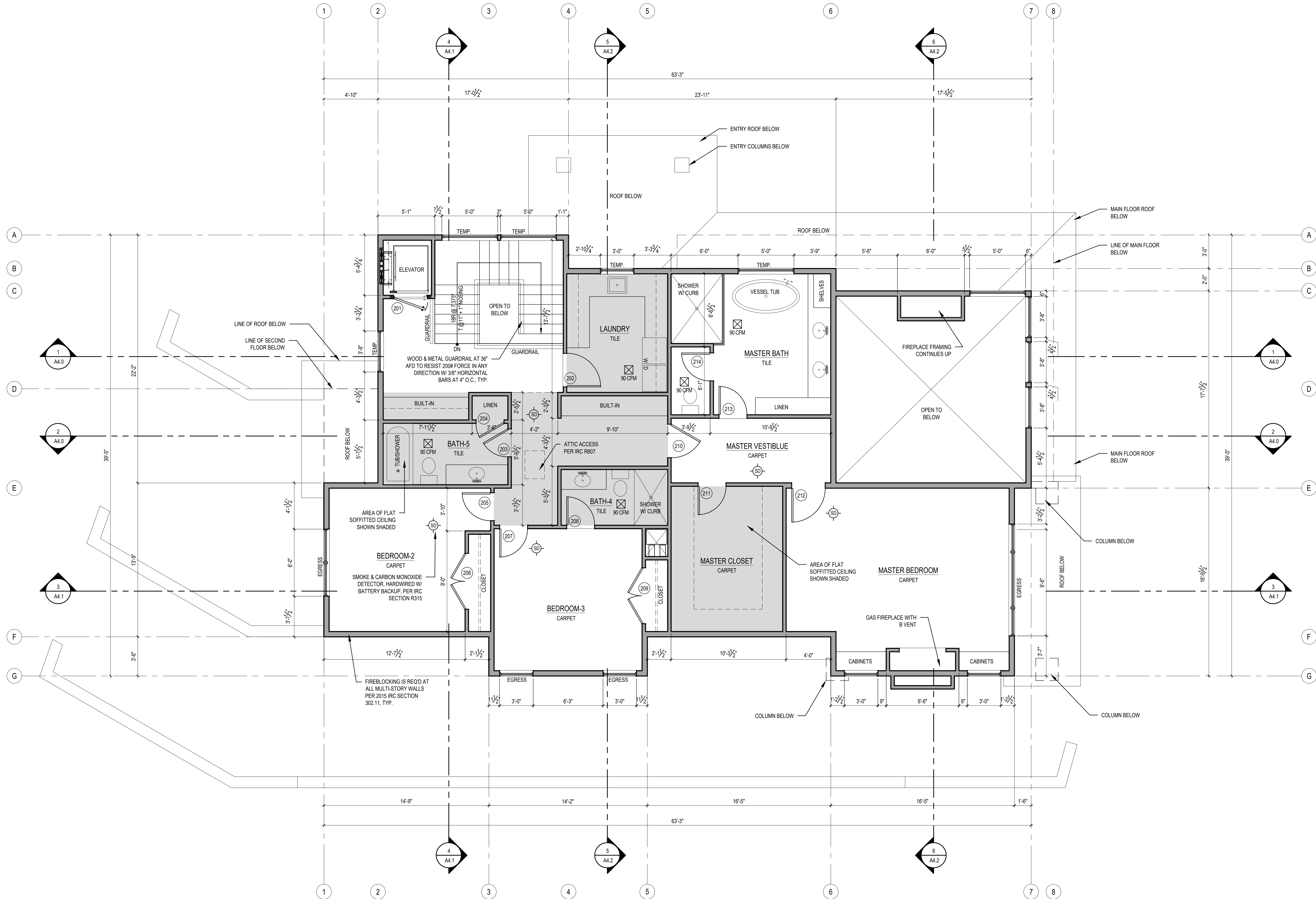
REVISIONS:	DATE	DESCRIPTION
1	2021-03-18	PERMIT CORRECTIONS

DRAWN BY: KE

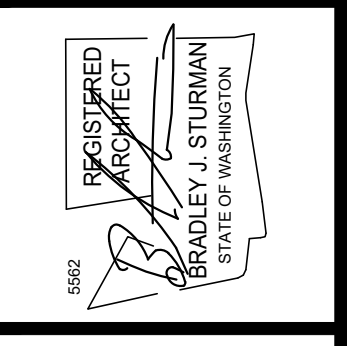
CHECKED BY: BUS

SHEET

A2.1



1 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



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THIRD FLOOR PLAN

REVISIONS:	DATE	DESCRIPTION
1	2021-03-18	PERMIT CORRECTIONS

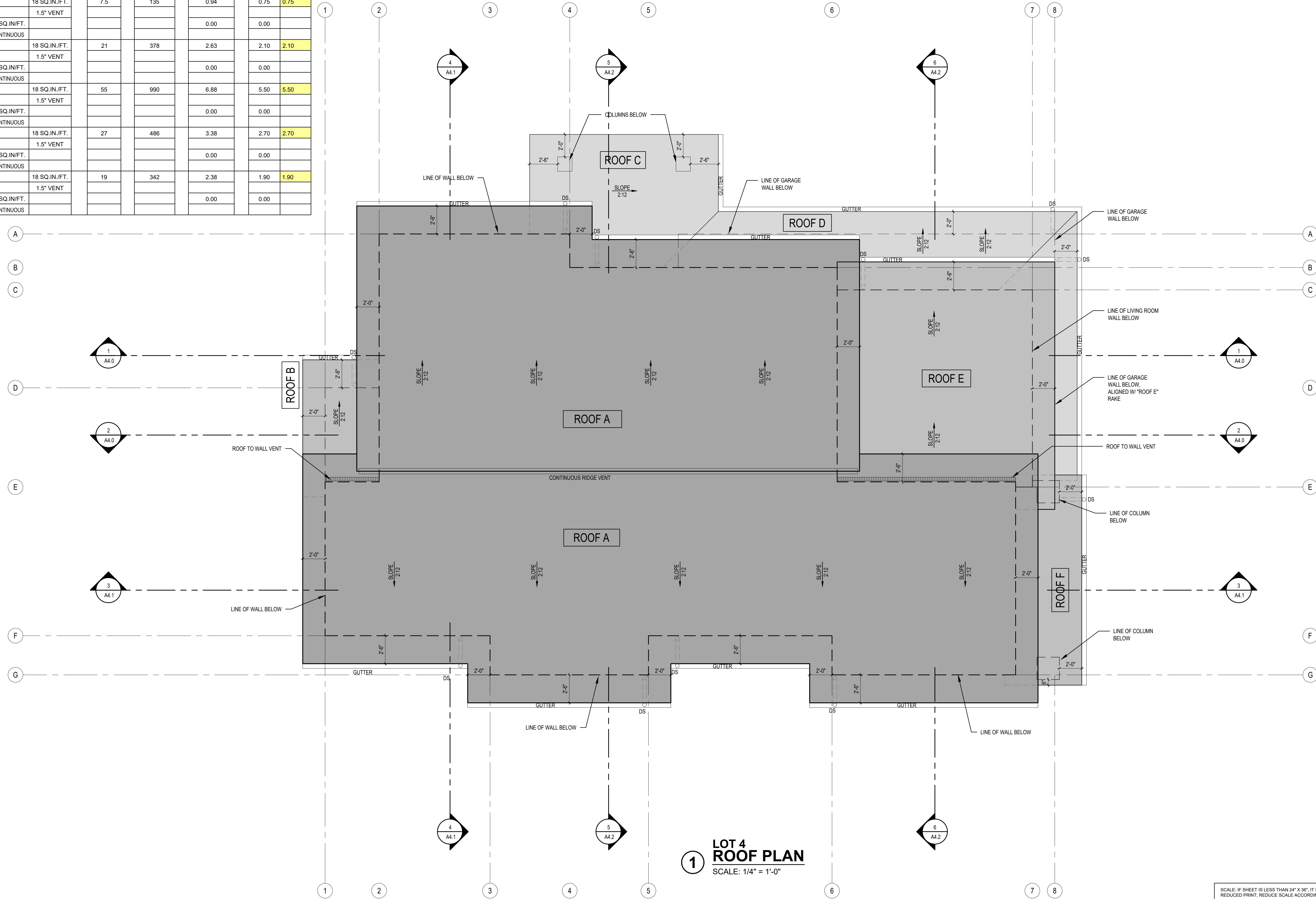
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CHECKED BY: BUS

SHEET

A2.2
PLOT DATE: 5/6/2021

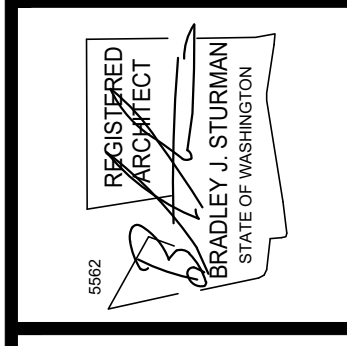
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PERMIT SET 06/06/21

ROOF VENT CALCULATIONS										
CODE REQUIREMENT			CALCULATIONS						ACTUAL	
DESCRIPTION	SF AREA	REQ. VENTING		VENT TYPE		VENT L.F.	TOTAL VENT AREA	SF CONVERT. 1/144	80% EFF	
		150	300	RIDGE	SOFFIT				FACTOR	TOTAL
ROOF A	2,401	16.01		18 SQ. IN./FT.	1.5" VENT	133	2394	16.63	13.30	16.37
				12 SQ. IN./FT.	1.5" VENT	46	552	3.83	3.07	
				CONTINUOUS						
ROOF B	86	0.57		18 SQ. IN./FT.	1.5" VENT	7.5	135	0.94	0.75	0.75
				12 SQ. IN./FT.	1.5" VENT			0.00	0.00	
				CONTINUOUS						
ROOF C	183	1.22		18 SQ. IN./FT.	1.5" VENT	21	378	2.63	2.10	2.10
				12 SQ. IN./FT.	1.5" VENT			0.00	0.00	
				CONTINUOUS						
ROOF D	290	1.93		18 SQ. IN./FT.	1.5" VENT	55	990	6.88	5.50	5.50
				12 SQ. IN./FT.	1.5" VENT			0.00	0.00	
				CONTINUOUS						
ROOF E	408	2.72		18 SQ. IN./FT.	1.5" VENT	27	486	3.38	2.70	2.70
				12 SQ. IN./FT.	1.5" VENT			0.00	0.00	
				CONTINUOUS						
ROOF F	125	0.83		18 SQ. IN./FT.	1.5" VENT	19	342	2.38	1.90	1.90
				12 SQ. IN./FT.	1.5" VENT			0.00	0.00	
				CONTINUOUS						



1 LOT 4 ROOF PLAN
SCALE: 1/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY.
PERMIT SET 05/06/21



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FOREST CREEK ESTATES LOT 4
PERMIT SET
5202 FOREST AVE S.E.
MERCER ISLAND, WA 98040

ROOF PLAN

REVISIONS:	DATE	BY
2021-3-18 PERMIT CORRECTIONS		

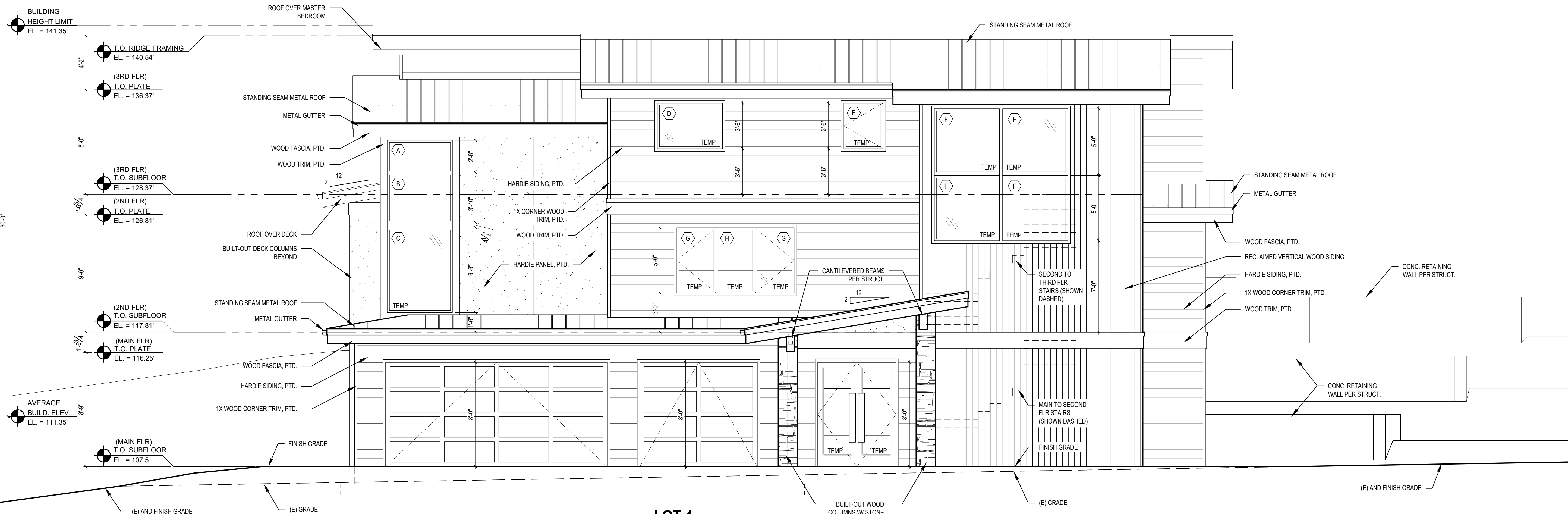
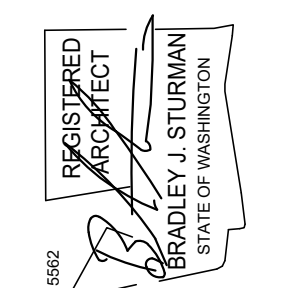
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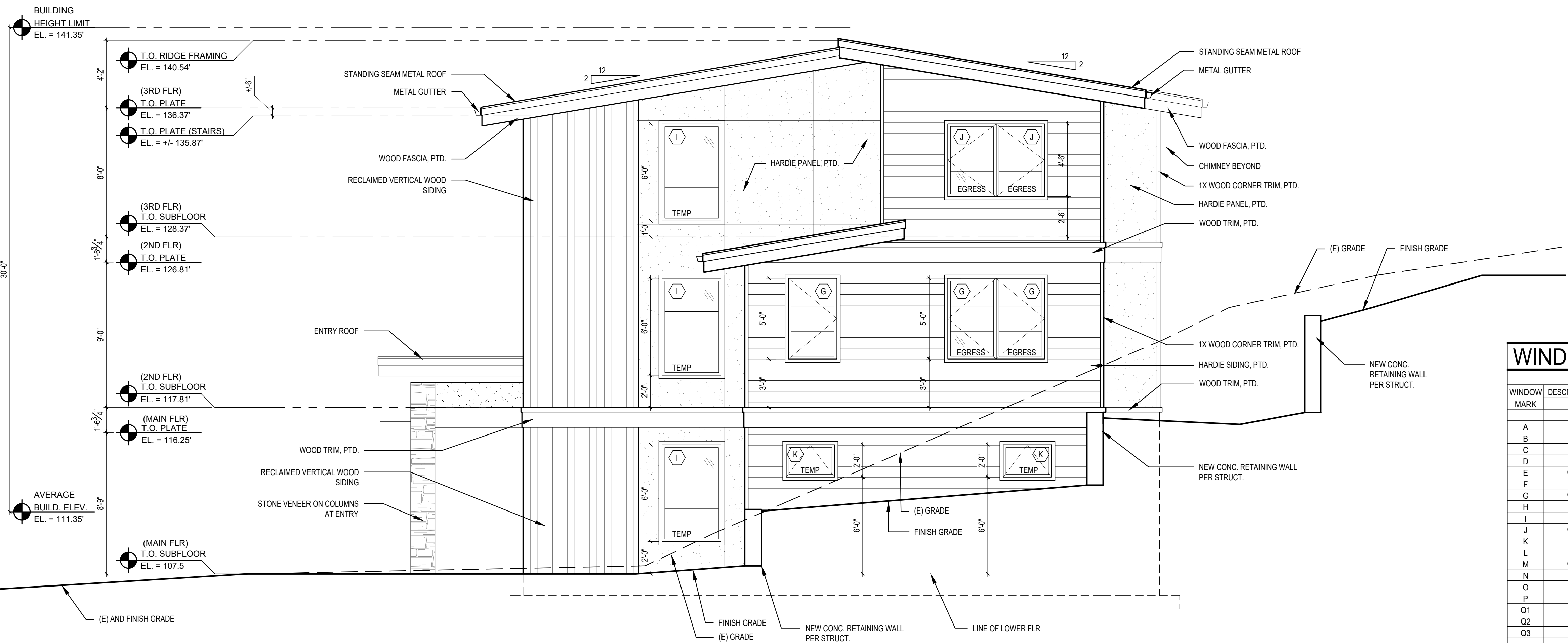
SHEET

A2.3

PLOT DATE: 5/6/2021



1 LOT 4 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 LOT 4 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

WINDOW & DOOR SCHEDULE NOTES:

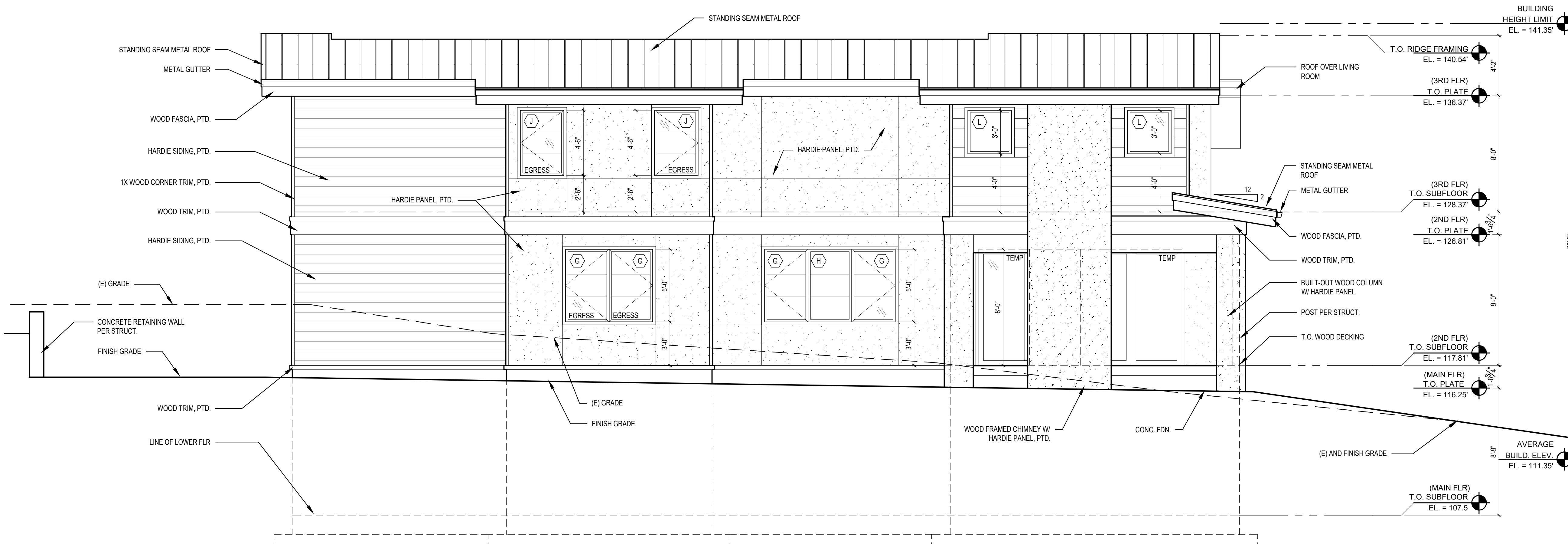
- 1) CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
- 2) ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.
- 3) ALL OPERABLE WINDOWS TO HAVE SCREENS.
- 4) GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATION & EGRESS WINDOWS.
- 5) 2015 WSEC & VIAQ RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED. SEE ENERGY NOTE AT A1.0 SHEET FOR DETAILS.
- 6) ALL WINDOWS AND DOORS WITHOUT A BUG ARE EXISTING TO REMAIN.

WINDOW SCHEDULE

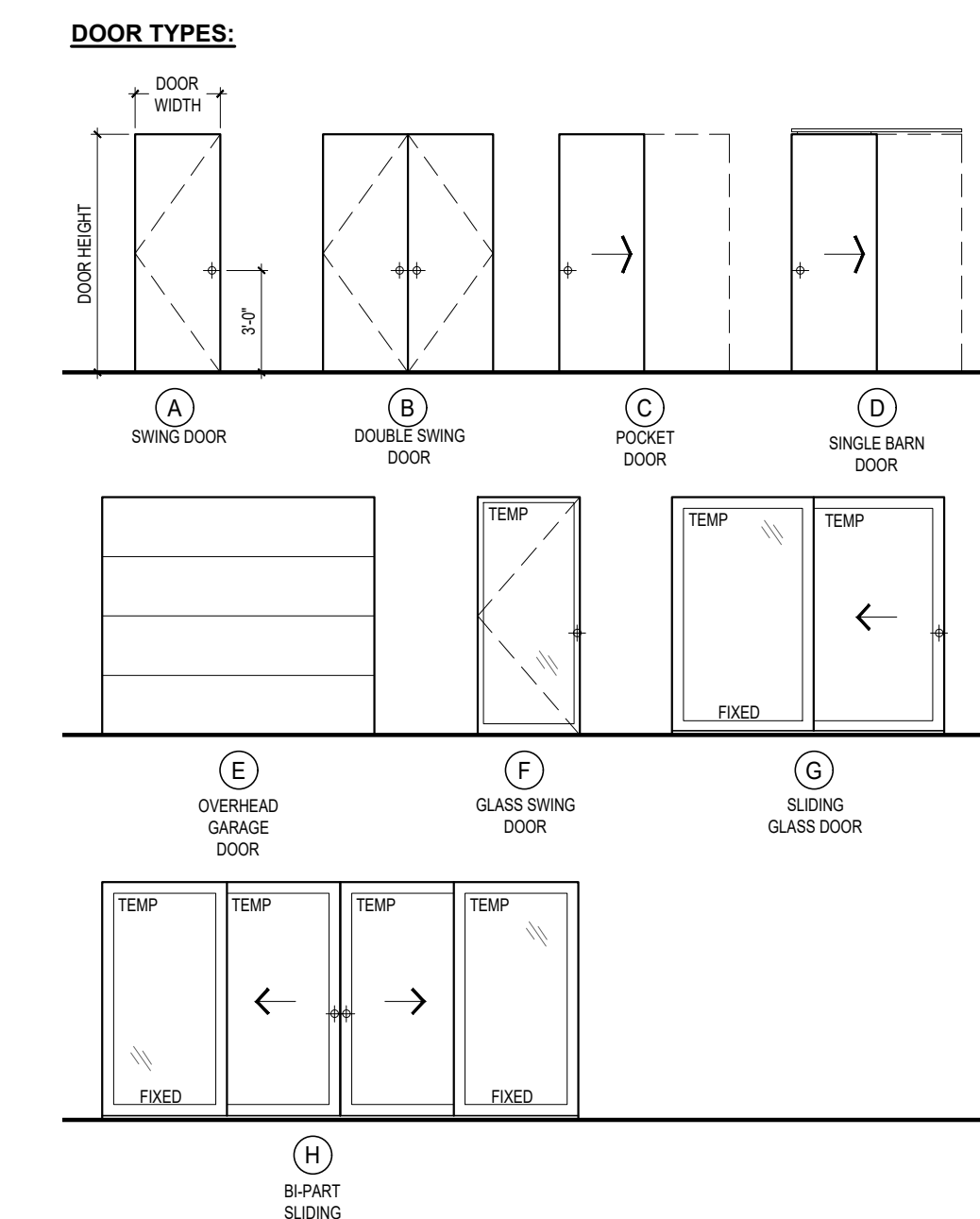
WINDOW MARK	DESCRIPTION	R.O. SIZE	TEMP.	QTY.	TOTAL AREA (SF)	U-VALUE (MIN.)	GLAZING	REMARKS & NOTES
		WIDTH	HEIGHT					
A	FIXED	5'-0"	2'-6"	1	.30	LOW E / CLEAR	TEMPERED GLASS	
B	FIXED	5'-0"	3'-10"	1	.30	LOW E / CLEAR	TEMPERED GLASS	
C	FIXED	5'-0"	6'-6"	Y 1	.30	LOW E / CLEAR	TEMPERED GLASS	
D	FIXED	5'-0"	3'-6"	Y 1	.30	LOW E / CLEAR	TEMPERED GLASS	
E	CASEMENT	3'-0"	3'-6"	Y 1	.30	LOW E / CLEAR	TEMPERED GLASS	
F	FIXED	5'-0"	5'-0"	Y 4	.30	LOW E / CLEAR	TEMPERED GLASS	
G	CASEMENT	3'-0"	5'-0"	9	.30	LOW E / CLEAR	EGRESS WINDOWS	
H	FIXED	3'-0"	5'-0"	Y 2	.30	LOW E / CLEAR	TEMPERED GLASS	
I	FIXED	3'-8"	6'-0"	Y 3	.30	LOW E / CLEAR	TEMPERED GLASS	
J	CASEMENT	3'-0"	4'-6"	4	.30	LOW E / CLEAR	EGRESS WINDOWS	
K	AWNING	3'-0"	2'-0"	Y 2	.30	LOW E / CLEAR	TEMPERED GLASS	
L	FIXED	3'-0"	3'-0"	2	.30	LOW E / CLEAR	TEMPERED GLASS	
M	CASEMENT	2'-6"	5'-0"	2	.30	LOW E / CLEAR	EGRESS WINDOWS	
N	FIXED	5'-0"	5'-0"	1	.30	LOW E / CLEAR	TEMPERED GLASS	
O	FIXED	3'-8"	6'-6"	Y 3	.30	LOW E / CLEAR	TEMPERED GLASS	
P	FIXED	3'-8"	3'-10"	3	.30	LOW E / CLEAR	TEMPERED GLASS	
Q1	FIXED	3'-8"	4'-7"	1	.30	LOW E / CLEAR	ANGLED TOP, HEIGHT-HIGH PT.	
Q2	FIXED	3'-8"	3'-11"	1	.30	LOW E / CLEAR	ANGLED TOP, HEIGHT-HIGH PT.	
Q3	FIXED	3'-8"	3'-3"	1	.30	LOW E / CLEAR	ANGLED TOP, HEIGHT-HIGH PT.	

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY

PERMIT SET 05/06/21



3 LOT 4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



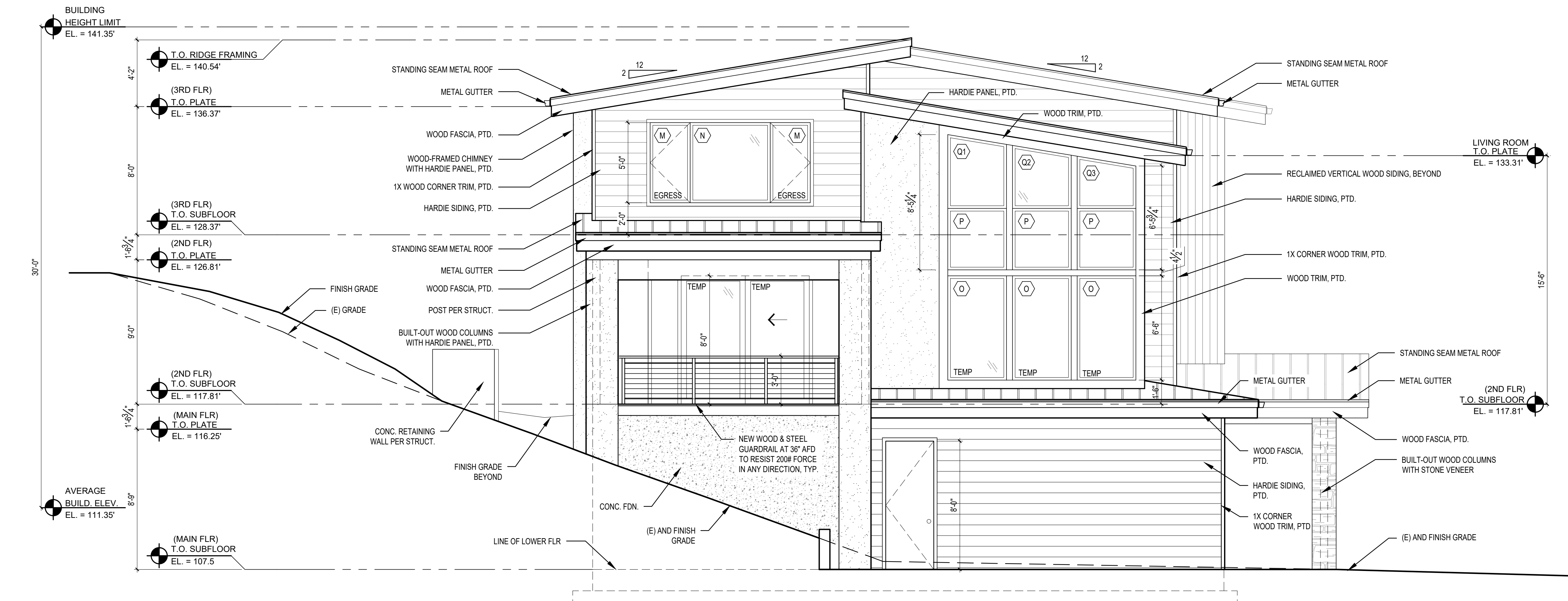
- WINDOW & DOOR SCHEDULE NOTES:**
- 1.) CONTRACTOR TO VERIFY ALL GLAZING SIZING, AND DOOR DIMENSIONS IN FIELD PRIOR TO ROUGH FRAMING & ORDERING OF GLAZING/WINDOW/DOOR MATERIALS. REVIEW SIZES AND ANY DISCREPANCIES W/ ARCHITECT.
 - 2.) ALL GLAZING TO BE "LOW E", INSULATED GLASS UNLESS NOTED OTHERWISE.
 - 3.) ALL OPERABLE WINDOWS TO HAVE SCREENS.
 - 4.) GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP. GLASS LOCATION & EGRESS WINDOWS.
 - 5.) 2015 WSEC & VIAQ RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED. SEE ENERGY NOTE AT A1.0 SHEET FOR DETAILS.
 - 6.) ALL WINDOWS AND DOORS WITHOUT A BUG ARE EXISTING TO REMAIN.

DOOR SCHEDULE

DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL. (MIN.)	DOOR HDWR.	REMARKS
MAIN FLOOR									
001	ENTRY	PR 3'-0"	7'-6"	B	Y	1-3/4"	.30	-	ENTRY DOORS
002	STAIR STORAGE	2'-6"	7'-6"	A	-	1-3/4"	-	-	
003	ELEVATOR	3'-0"	7'-6"	A	-	1-3/4"	-	-	
004	REC ROOM	6'-0"	7'-6"	D	-	1-3/4"	-	-	
005	MUD ROOM	3'-0"	7'-6"	C	-	1-3/4"	-	-	BARN DOOR
006	BATH-1	2'-6"	7'-6"	A	-	1-3/4"	-	-	POCKET DOOR
007	MECH ROOM	3'-0"	7'-6"	A	-	1-3/4"	-	-	
008	MUD ROOM	2'-6"	7'-6"	A	-	1-3/4"	-	-	
009	ENTRY	2'-6"	7'-6"	A	-	1-3/4"	-	-	SOLID CORE DOOR
010	GARAGE	3'-0"	7'-6"	A	-	1-3/4"	-	-	SELF-CLOSING, SOLID CORE
011	GARAGE	9'-0"	8'-0"	E	-	1-3/4"	-	-	
012	GARAGE	17'-6"	8'-0"	E	-	1-3/4"	-	-	
013	GARAGE	3'-0"	7'-6"	A	-	1-3/4"	-	-	
014	STORAGE	3'-0"	7'-6"	A	-	1-3/4"	-	-	
015	STORAGE	3'-0"	7'-6"	A	-	1-3/4"	-	-	

DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL. (MIN.)	DOOR HDWR.	REMARKS
SECOND FLOOR									
101	ELEVATOR	3'-0"	8'-0"	A	-	1-3/4"	-	-	
102	HALL CLOSET	PR 2'-0"	8'-0"	B	-	1-3/4"	-	-	
103	PANTRY	2'-6"	8'-0"	A	-	1-3/4"	-	-	
104	WINE ROOM	2'-6"	8'-0"	F	Y	1-3/4"	.30	-	TEMPERED GLASS, GASKET
105	BATH-3	2'-6"	8'-0"	A	-	1-3/4"	-	-	
106	BEDROOM-1	2'-6"	8'-0"	A	-	1-3/4"	-	-	
107	BEDROOM-1	PR 2'-6"	8'-0"	B	-	1-3/4"	-	-	
108	BATH-2	2'-6"	8'-0"	A	-	1-3/4"	-	-	
109	OFFICE	2'-6"	8'-0"	A	-	1-3/4"	-	-	
110	OFFICE	PR 2'-6"	8'-0"	B	-	1-3/4"	-	-	
111	DINING	8'-0"	8'-0"	G	Y	1-3/4"	.30	-	TEMPERED GLASS
112	LIVING	14'-0"	8'-0"	H	Y	1-3/4"	.30	-	TEMPERED GLASS

DOOR NO.	LOCATION	SIZE WIDTH	SIZE HEIGHT	DOOR TYPE	TEMP. GLASS	DOOR THK.	U-VAL. (MIN.)	DOOR HDWR.	REMARKS
THIRD FLOOR									
201	ELEVATOR	3'-0"	7'-0"	A	-	1-3/4"	-	-	
202	LAUNDRY	3'-0"	7'-0"	A	-	1-3/4"	-	-	SOUND GASKET
203	BATH-5	2'-6"	7'-0"	A	-	1-3/4"	-	-	
204	BATH-5	2'-6"	7'-0"	A	-	1-3/4"	-	-	
205	BEDROOM-2	2'-6"	7'-0"	A	-	1-3/4"	-	-	
206	BEDROOM-2	PR 2'-6"	7'-0"	B	-	1-3/4"	-	-	
207	BEDROOM-3	2'-6"	7'-0"	A	-	1-3/4"	-	-	
208	BATH-4	2'-6"	7'-0"	A	-	1-3/4"	-	-	
209	BEDROOM-3	PR 2'-6"	7'-0"	B	-	1-3/4"	-	-	
210	MASTER VESTIBULE	3'-0"	7'-0"	A	-	1-3/4"	-	-	
211	MASTER CLOSET	2'-6"	7'-0"	A	-	1-3/4"	-	-	
212	MASTER BEDROOM	3'-0"	7'-0"	A	-	1-3/4"	-	-	
213	MASTER BATH	2'-6"	7'-0"	A	-	1-3/4"	-	-	
214	MASTER BATH	2'-6"	7'-0"	A	-	1-3/4"	-	-	



4 LOT 4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

STURMAN ARCHITECTS

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BELLEVUE, WA 98004
TEL: 425-4517003

REGISTERED ARCHITECT
QUALITY ASSOCIATION
STATE OF WASHINGTON

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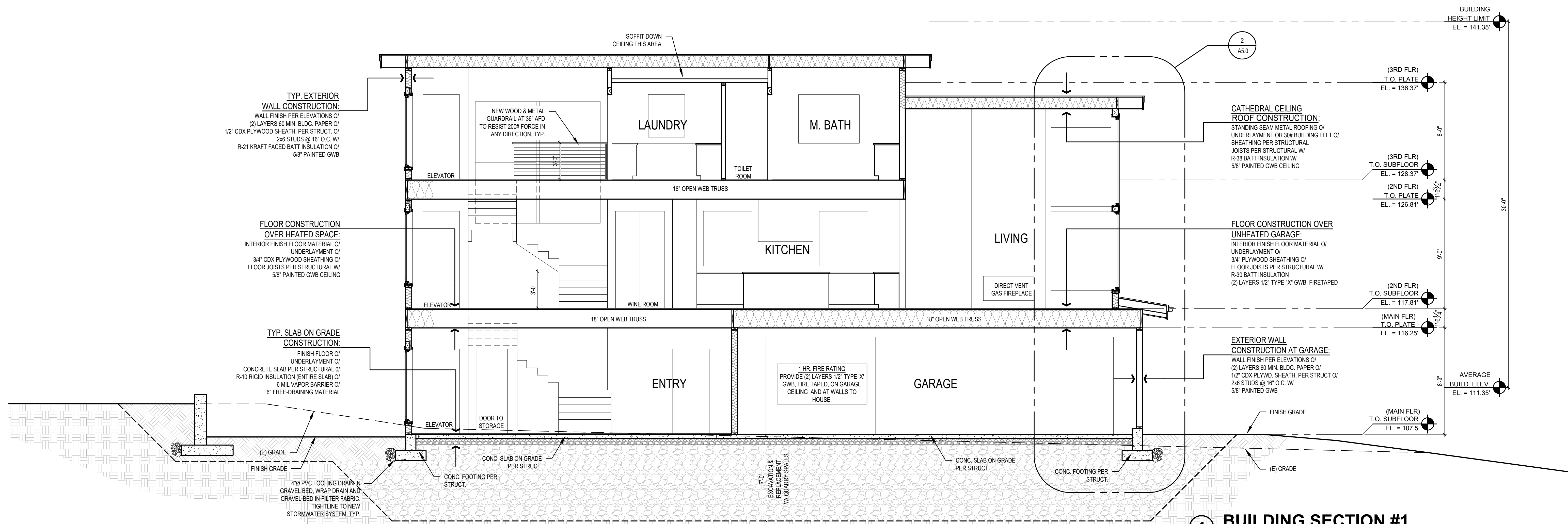
EXTERIOR ELEVATIONS
DOOR SCHEDULE

REVISIONS:
2021-03-18 PERMIT CORRECTIONS

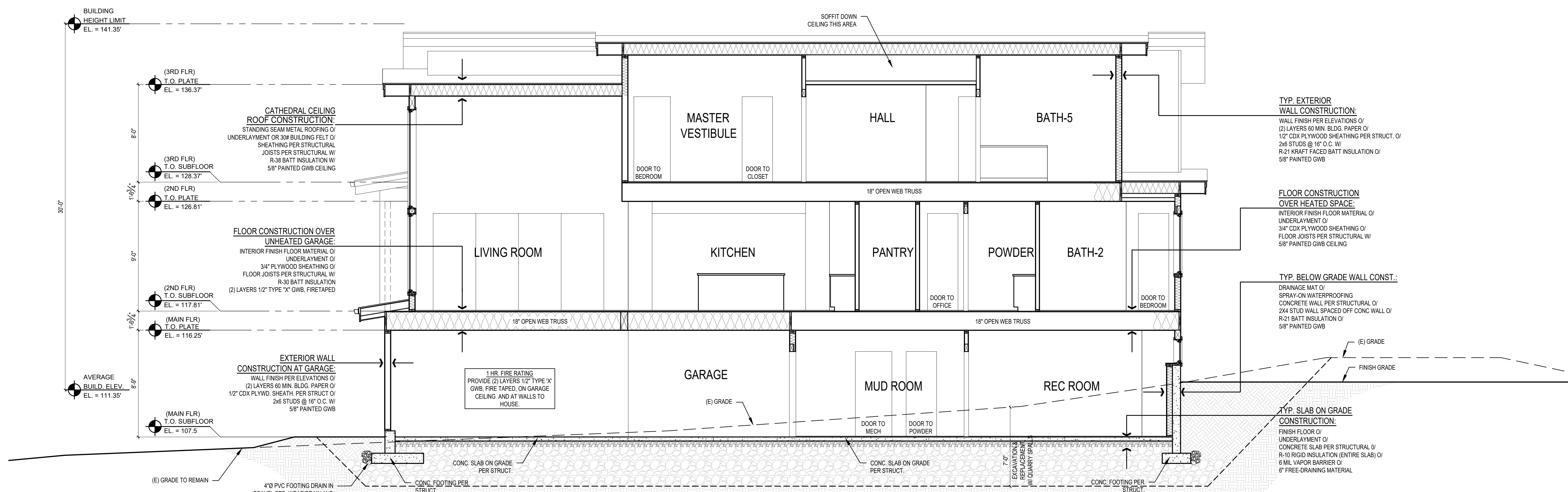
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SHEET
A3.1

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 05/06/21 PLOT DATE: 5/6/2021



1 BUILDING SECTION #1
SCALE: 1/4" = 1'-0"

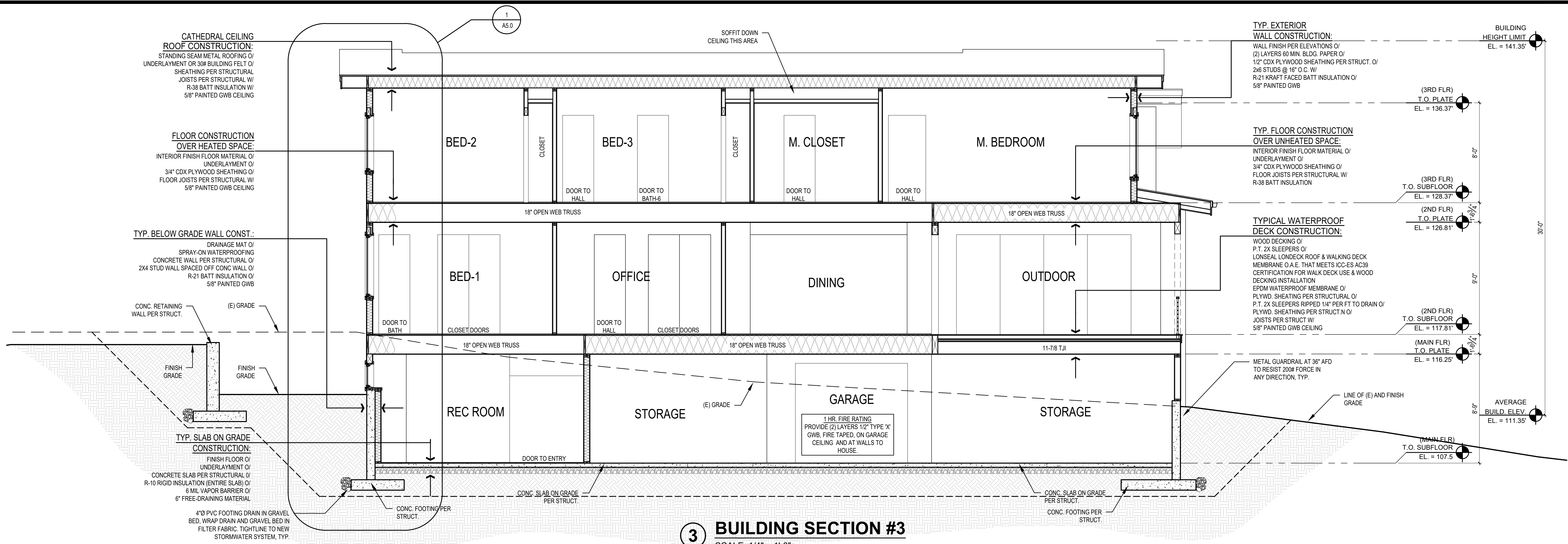


2 BUILDING SECTION #2
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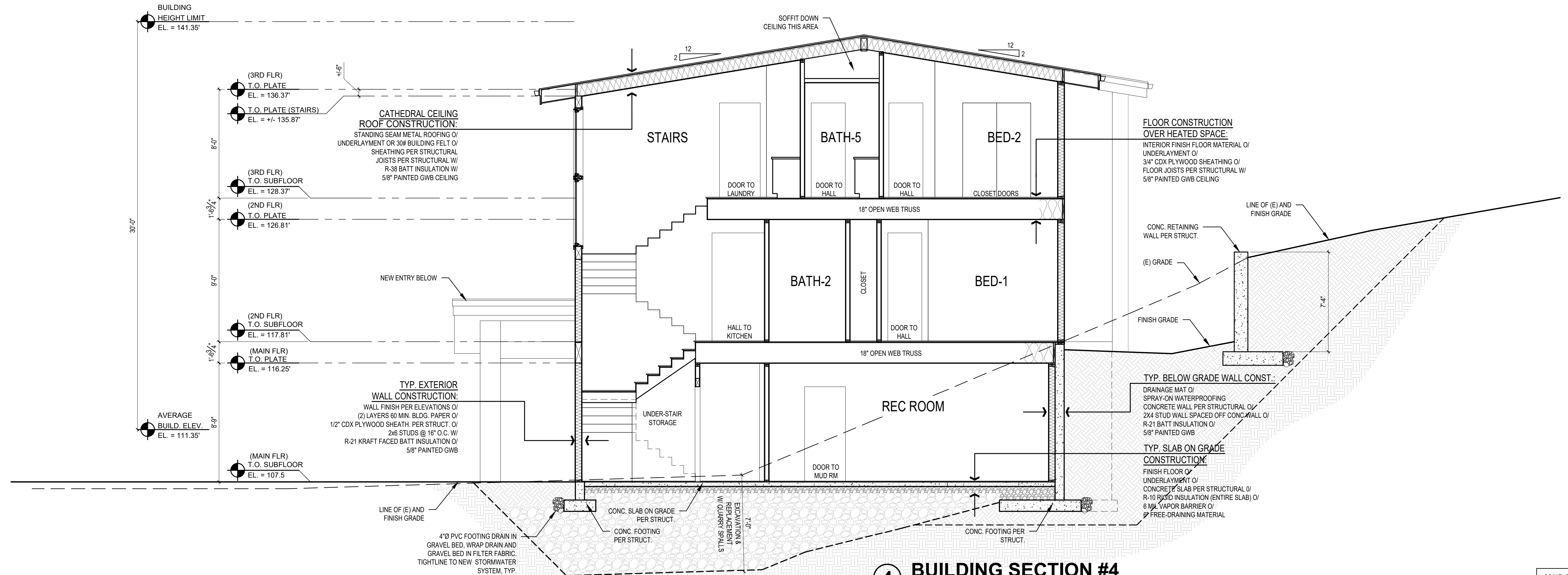
STURMAN ARCHITECTS
 9-103rd Avenue NE, Suite 203
 Bellevue, WA 98004
 TEL: 425-4517003
FOREST CREEK ESTATES LOT 4
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 MERCER ISLAND, WA 98040

BUILDING SECTIONS
 REVISIONS:
 2021-318 PERMIT CORRECTIONS
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 SHEET
A4.0
 PERMIT SET 05/06/21 PLOT DATE: 5/6/2021

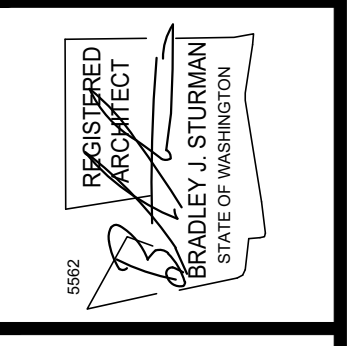
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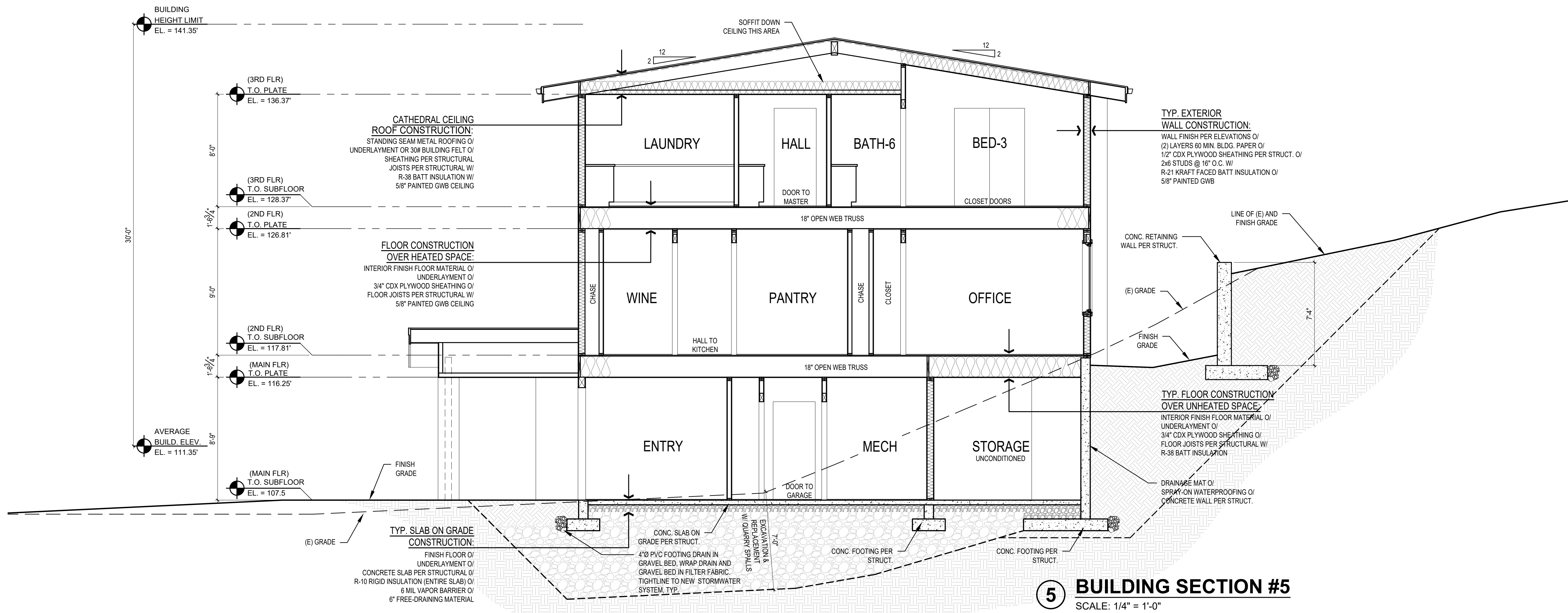
3 BUILDING SECTION #3
SCALE: 1/4" = 1'-0"



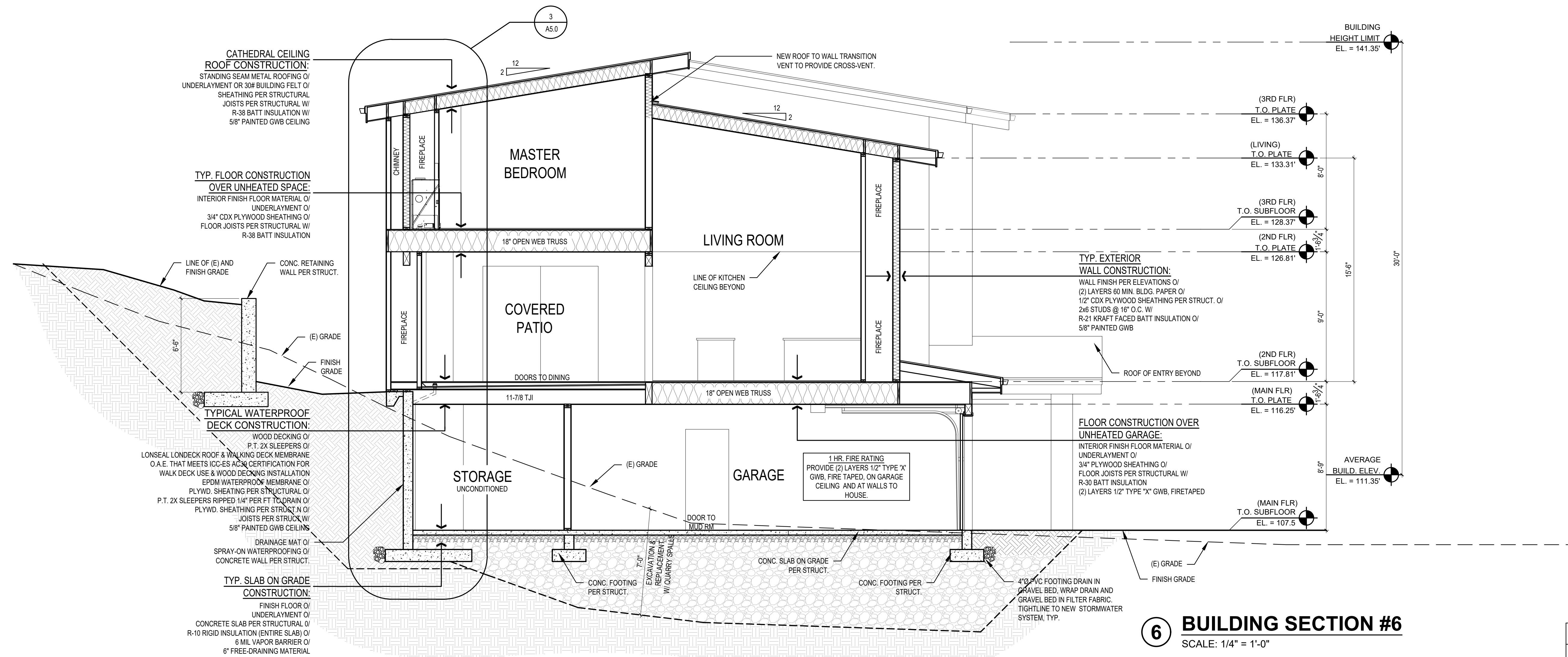
4 BUILDING SECTION #4
SCALE: 1/4" = 1'-0"



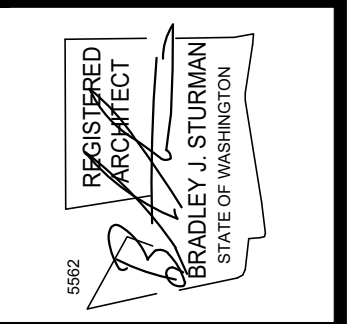
REVISIONS:	
2021-3-18 PERMIT CORRECTIONS	
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CHECKED BY:	BJS
SHEET	



5 BUILDING SECTION #5
SCALE: 1/4" = 1'-0"

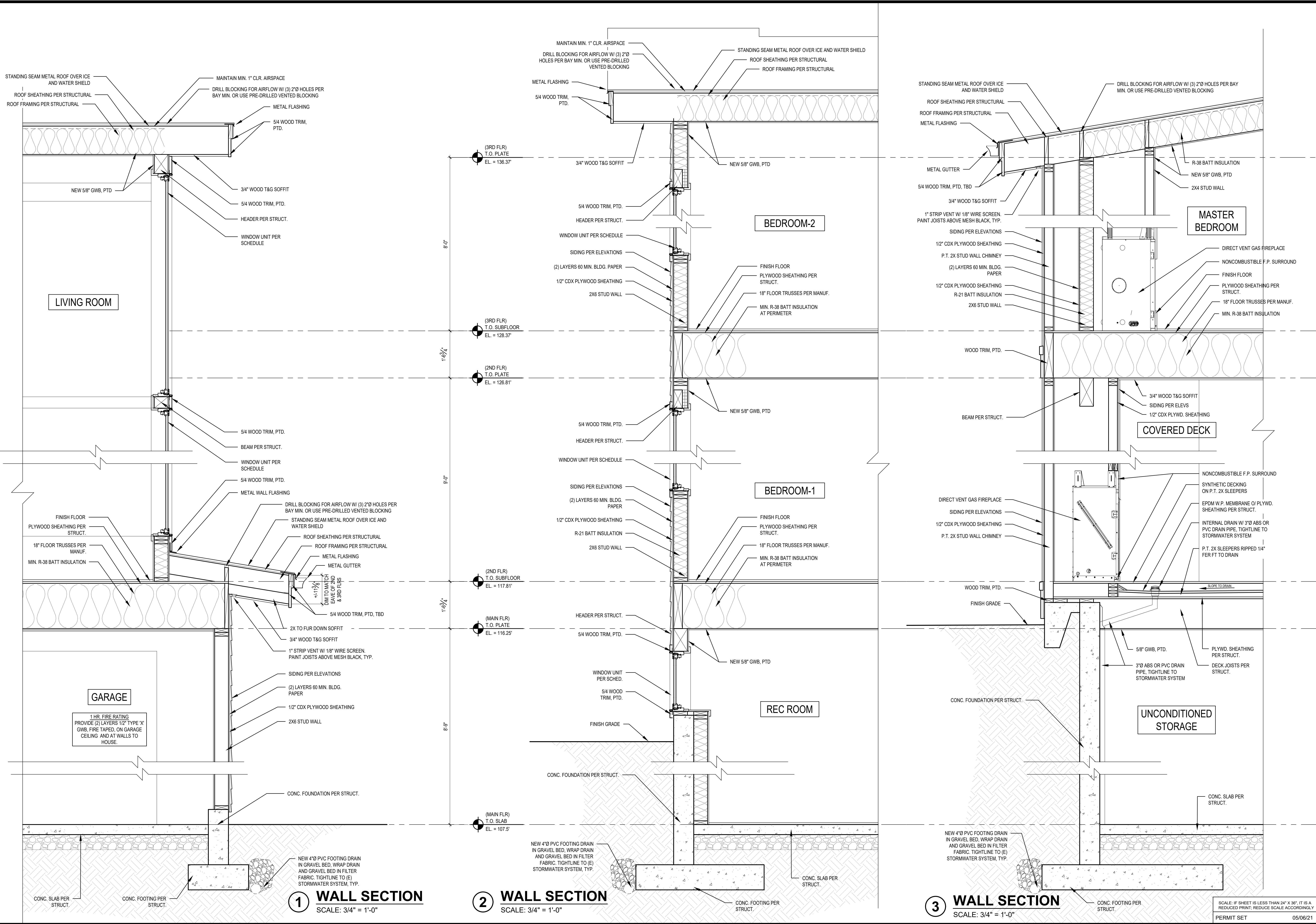


6 BUILDING SECTION #6
SCALE: 1/4" = 1'-0"



REVISIONS:	
2021-3-18 PERMIT CORRECTIONS	
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CHECKED BY:	BJS
SHEET	

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY.
PERMIT SET 05/06/21

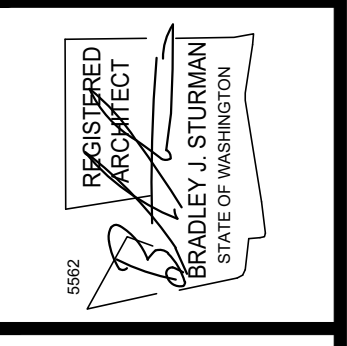


1 WALL SECTION
SCALE: 3/4" = 1'-0"

2 WALL SECTION
SCALE: 3/4" = 1'-0"

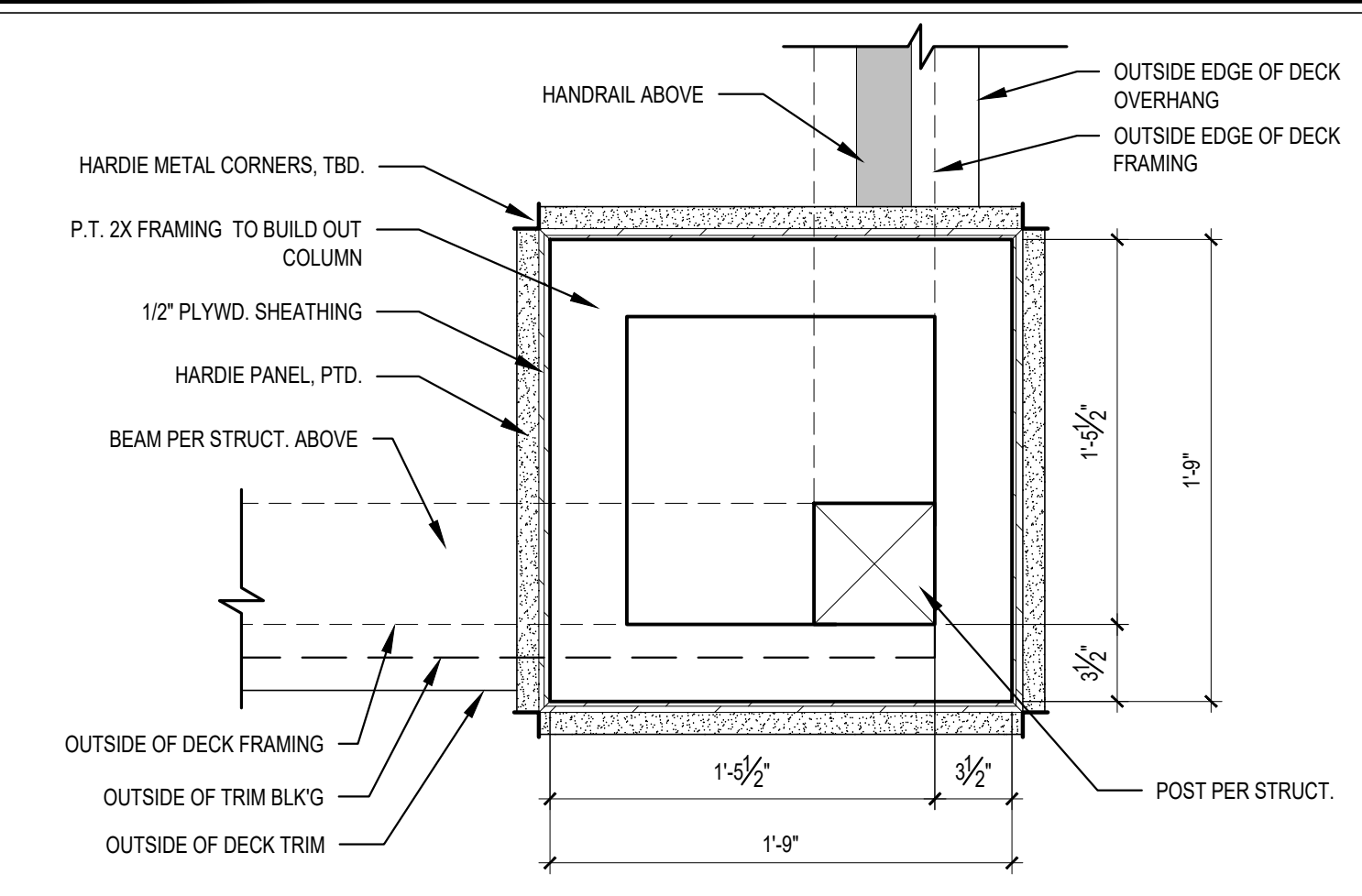
3 WALL SECTION
SCALE: 3/4" = 1'-0"

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 05/06/21

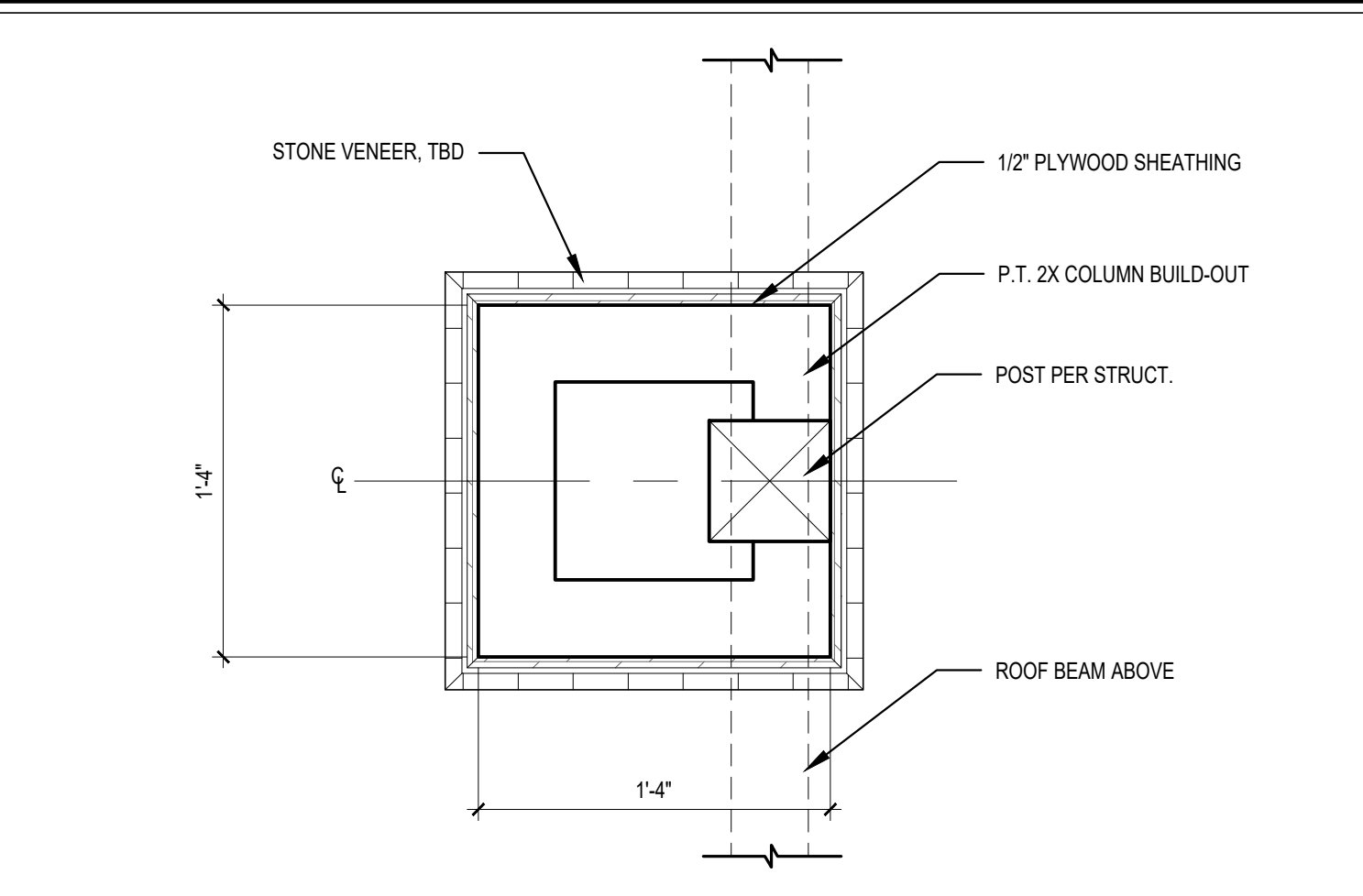


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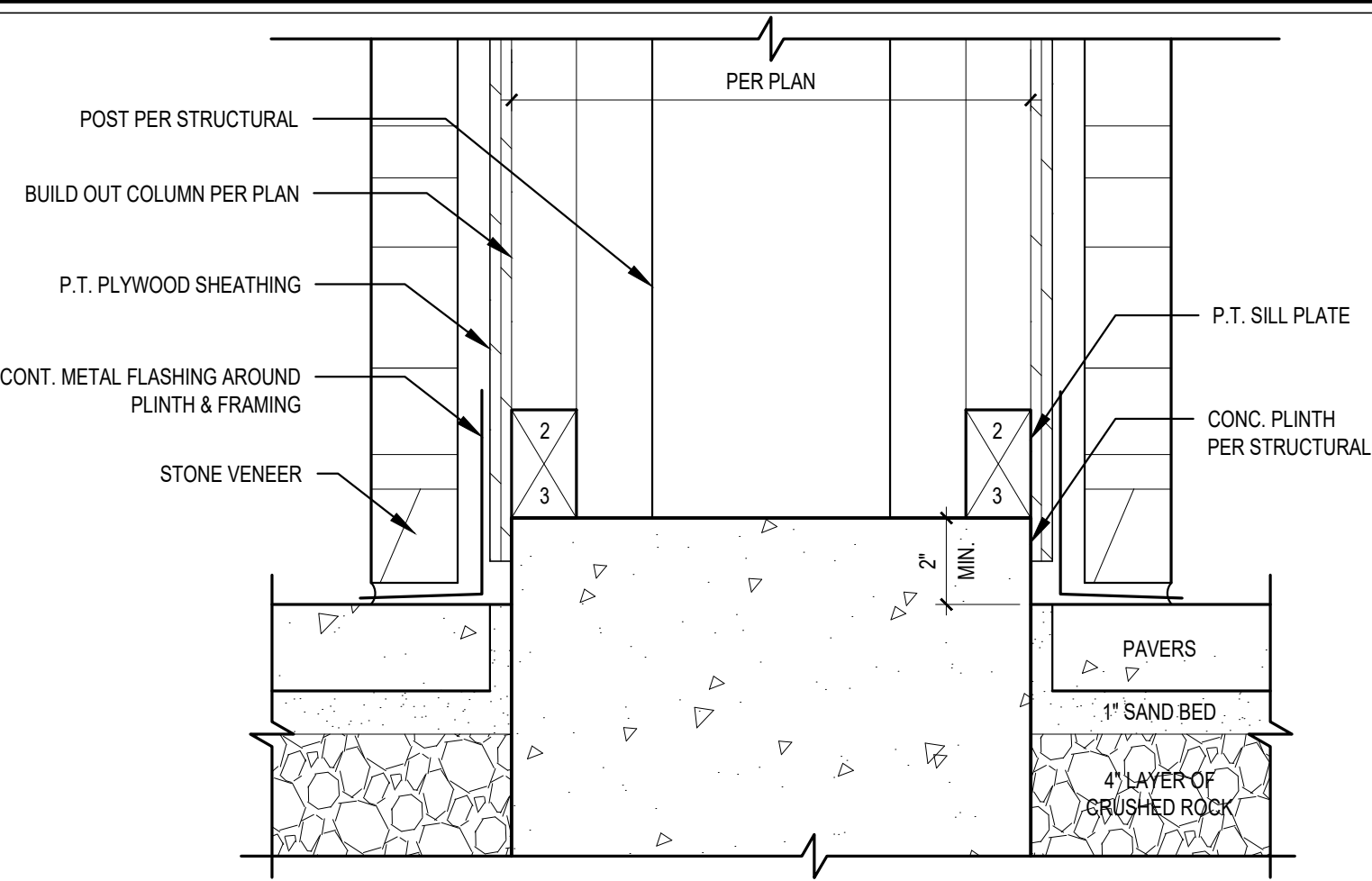
REVISIONS:	2021-3-18 PERMIT CORRECTIONS
DRAWN BY:	KE
CHECKED BY:	BJS
SHEET	A5.0
PLOT DATE:	5/6/2021



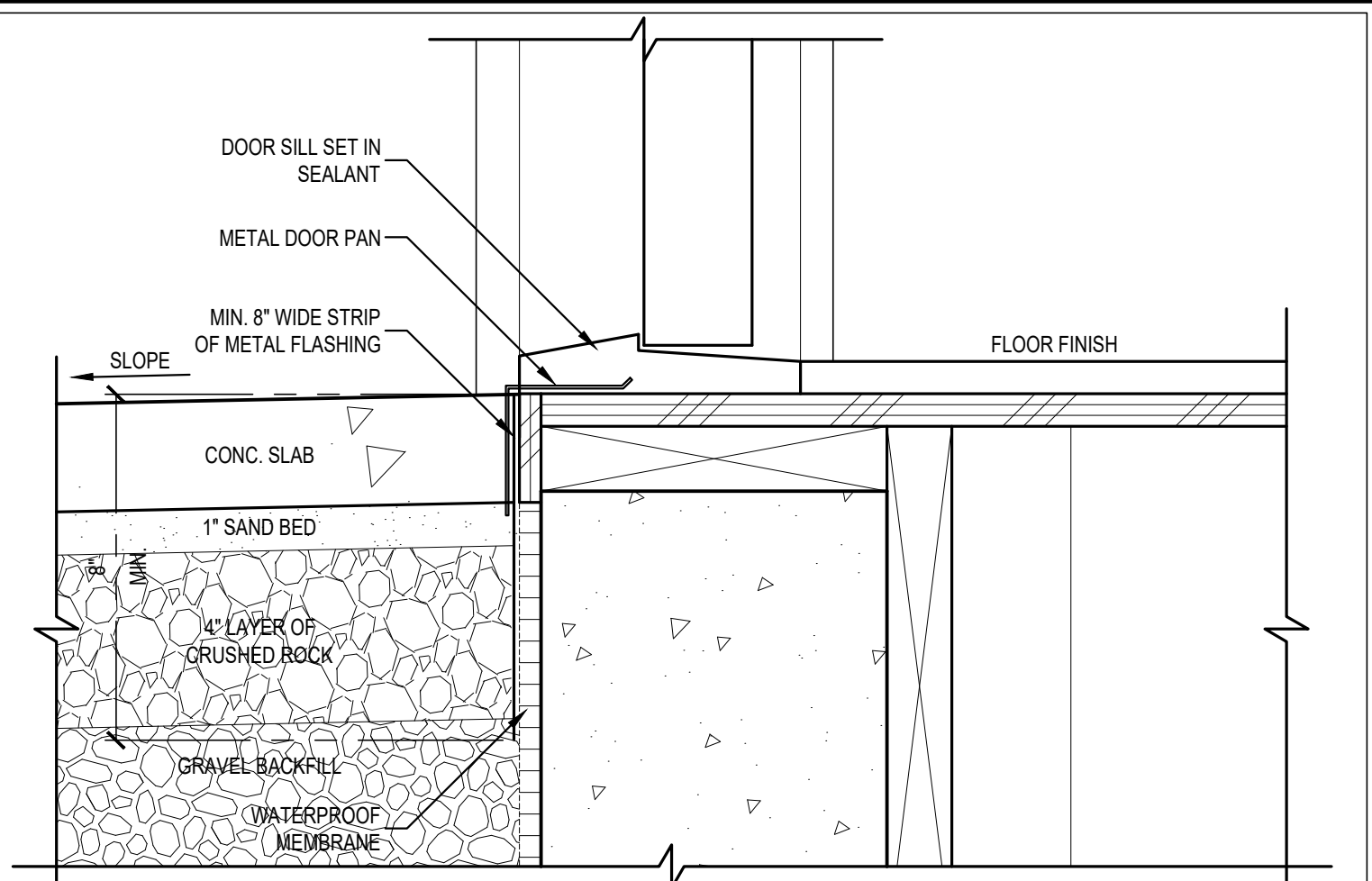
1 BUILT-OUT WOOD COLUMN PLAN DETAIL
SCALE: 1-1/2" = 1'-0"



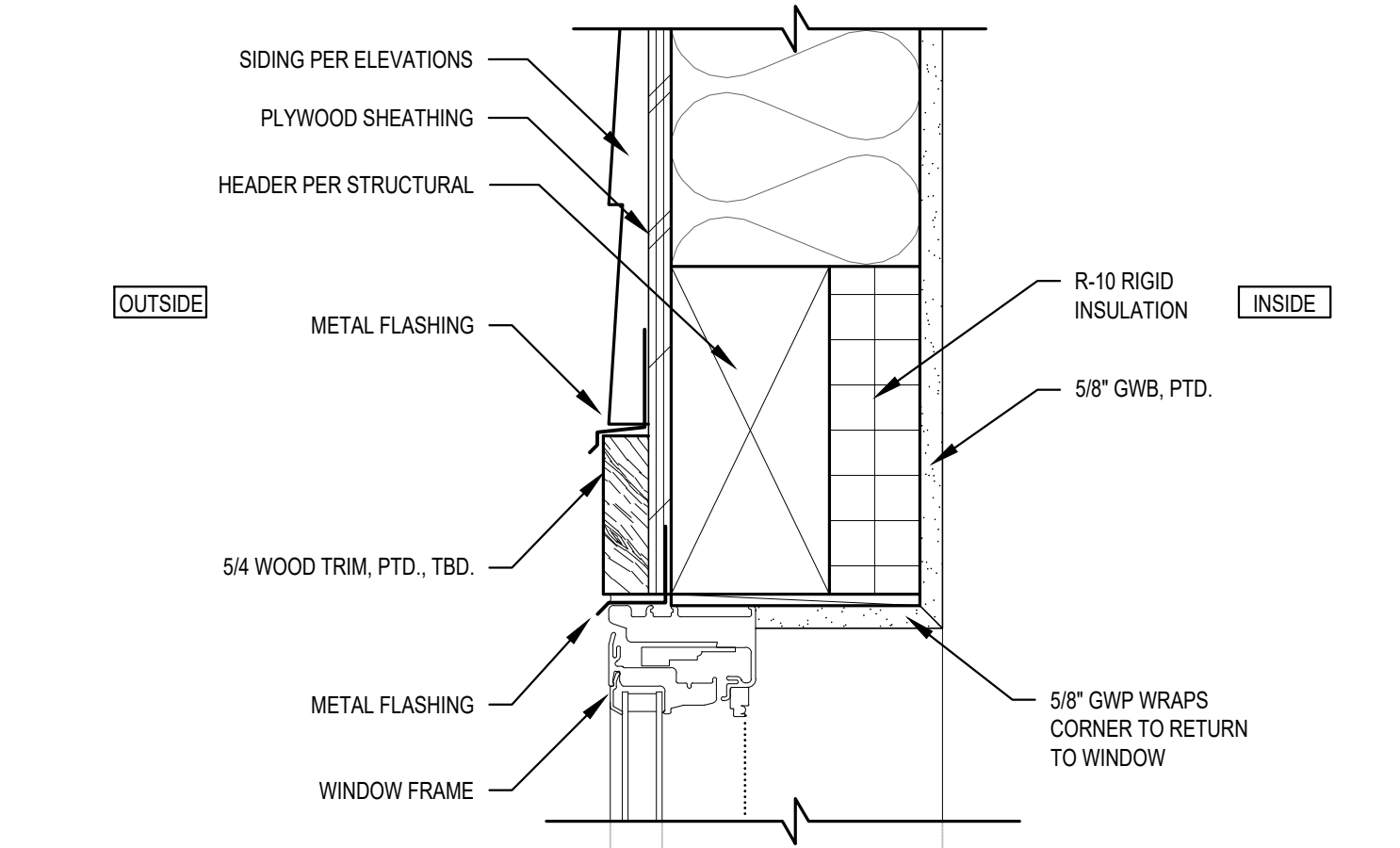
2 BUILT-OUT WOOD COLUMN PLAN DETAIL
SCALE: 1-1/2" = 1'-0"



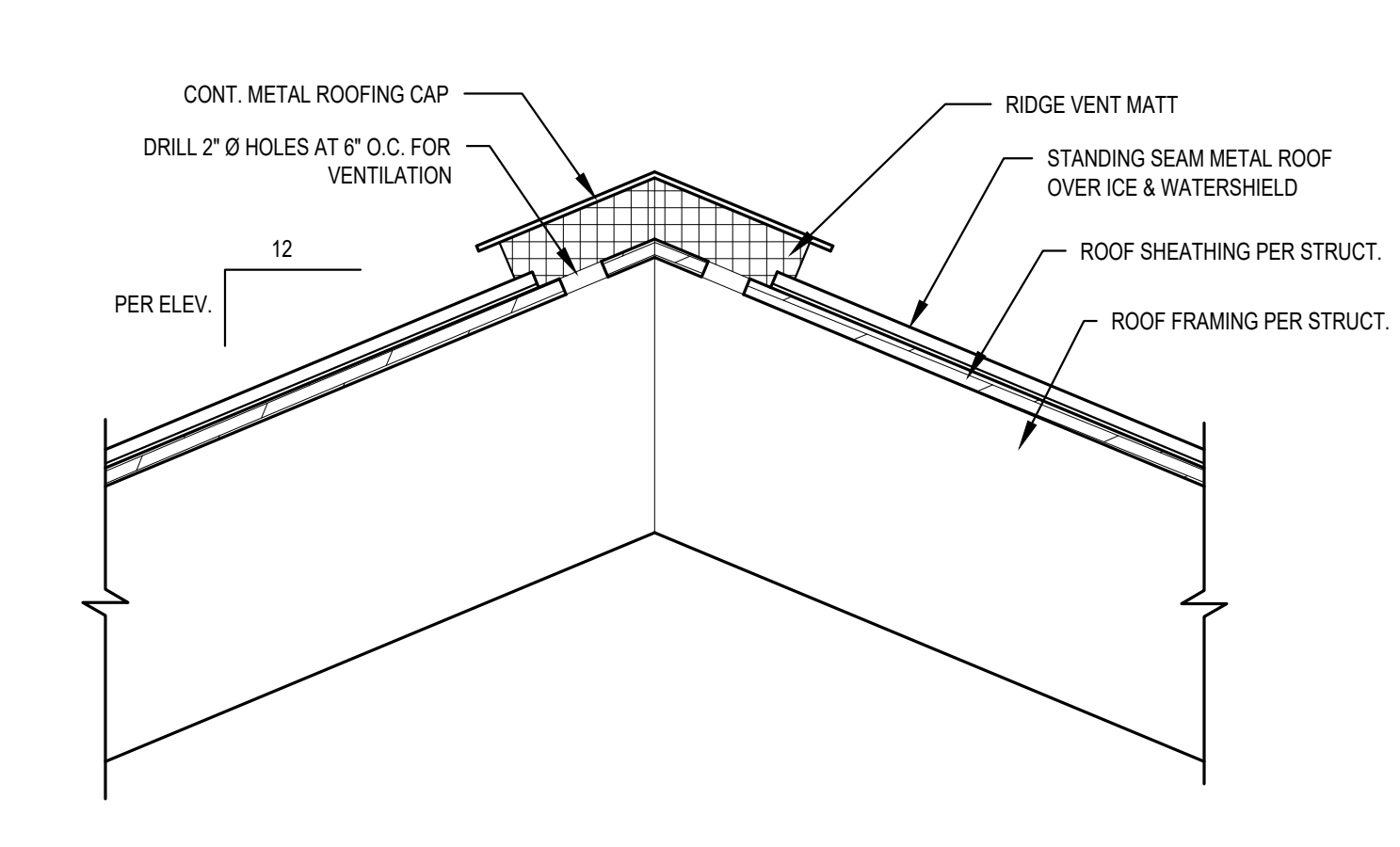
3 STONE VENEER COLUMN PLINTH DETAIL
SCALE: 3" = 1'-0"



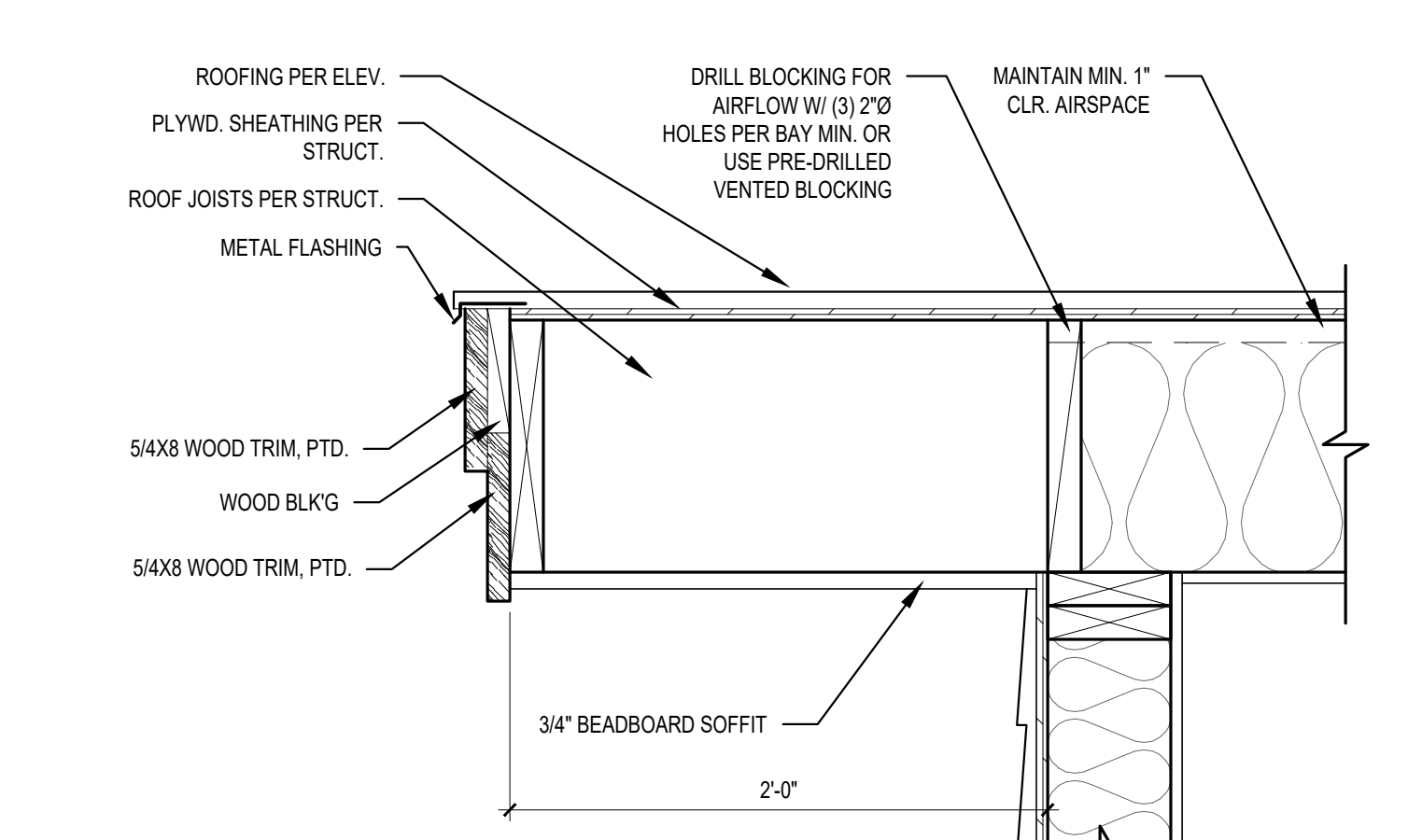
4 FLASHING DETAIL @ FLUSH THRESHOLD
SCALE: 3" = 1'-0"



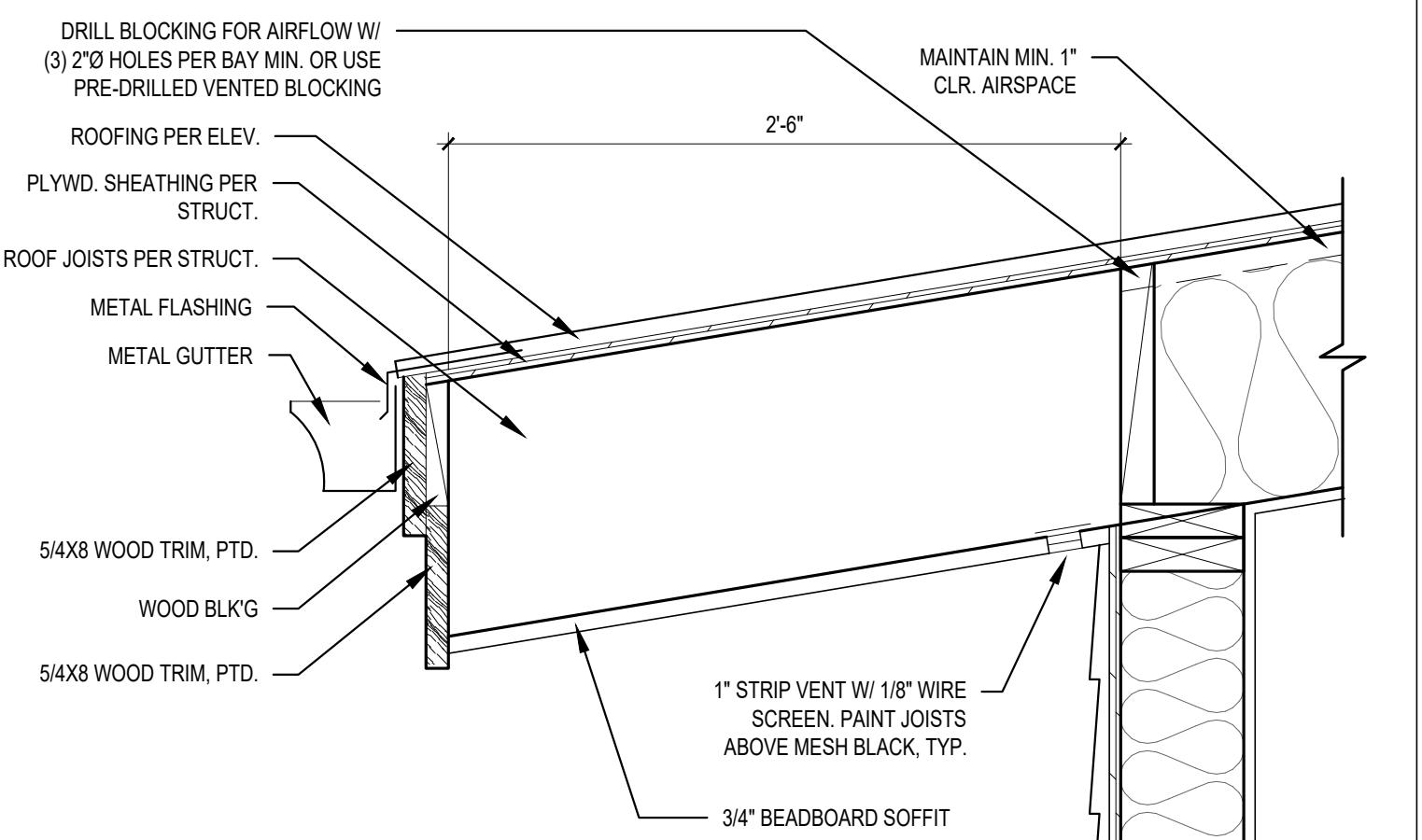
5 TYPICAL WINDOW HEAD DETAIL
SCALE: 3" = 1'-0"



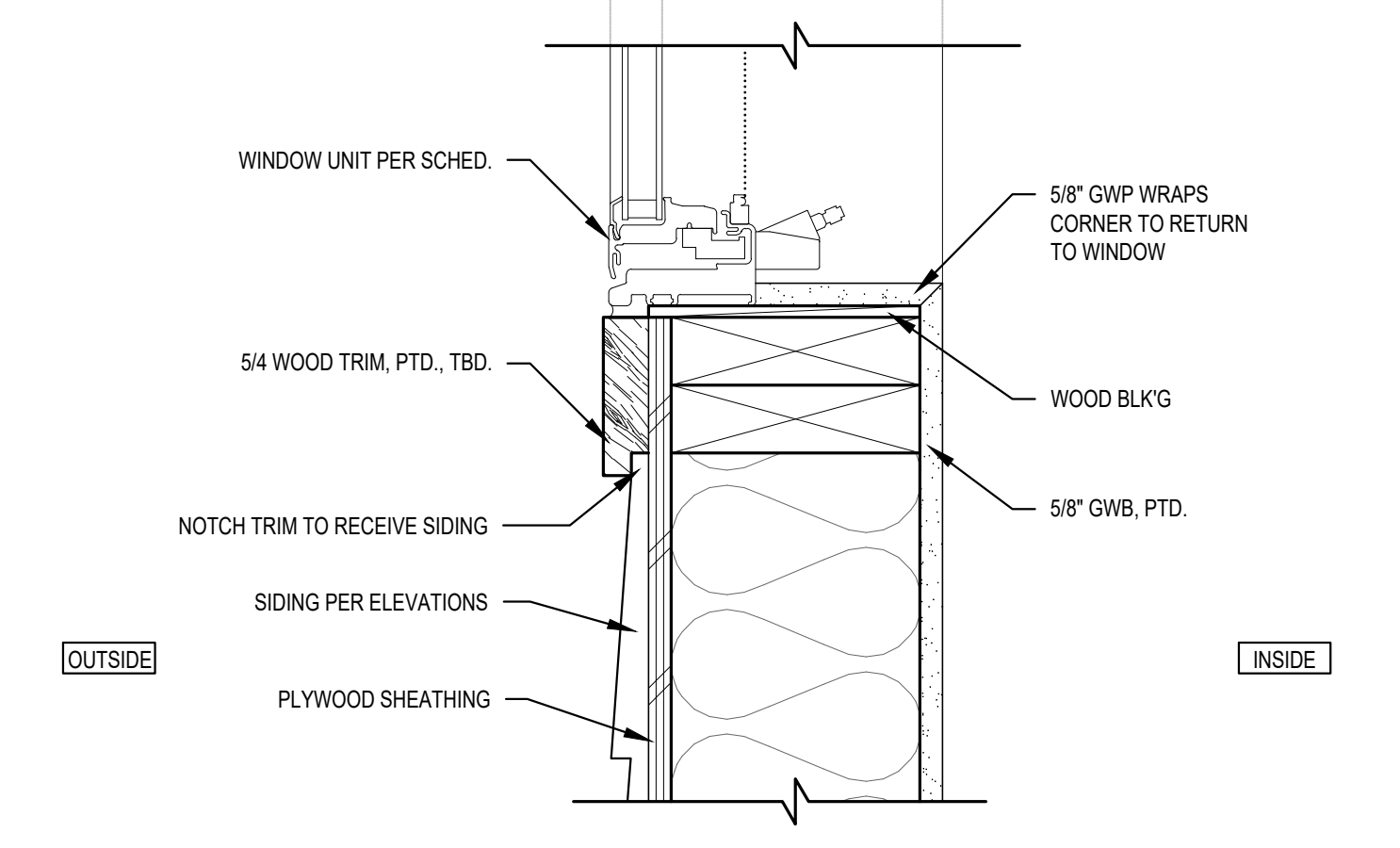
6 TYPICAL ROOF RIDGE VENT DETAIL
SCALE: 1 1/2" = 1'-0"



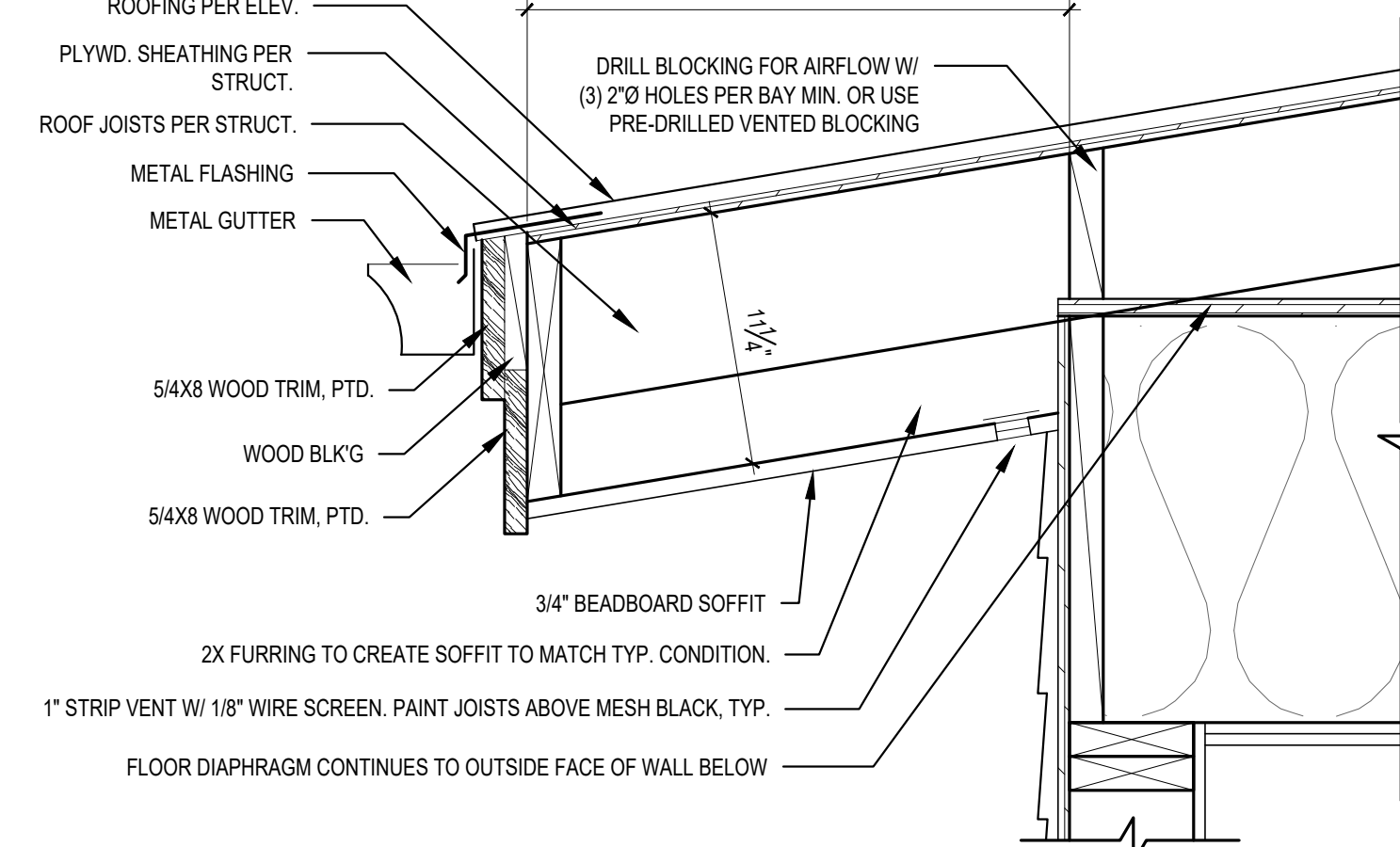
7 TYPICAL ROOF RAKE DETAIL
SCALE: 1-1/2" = 1'-0"



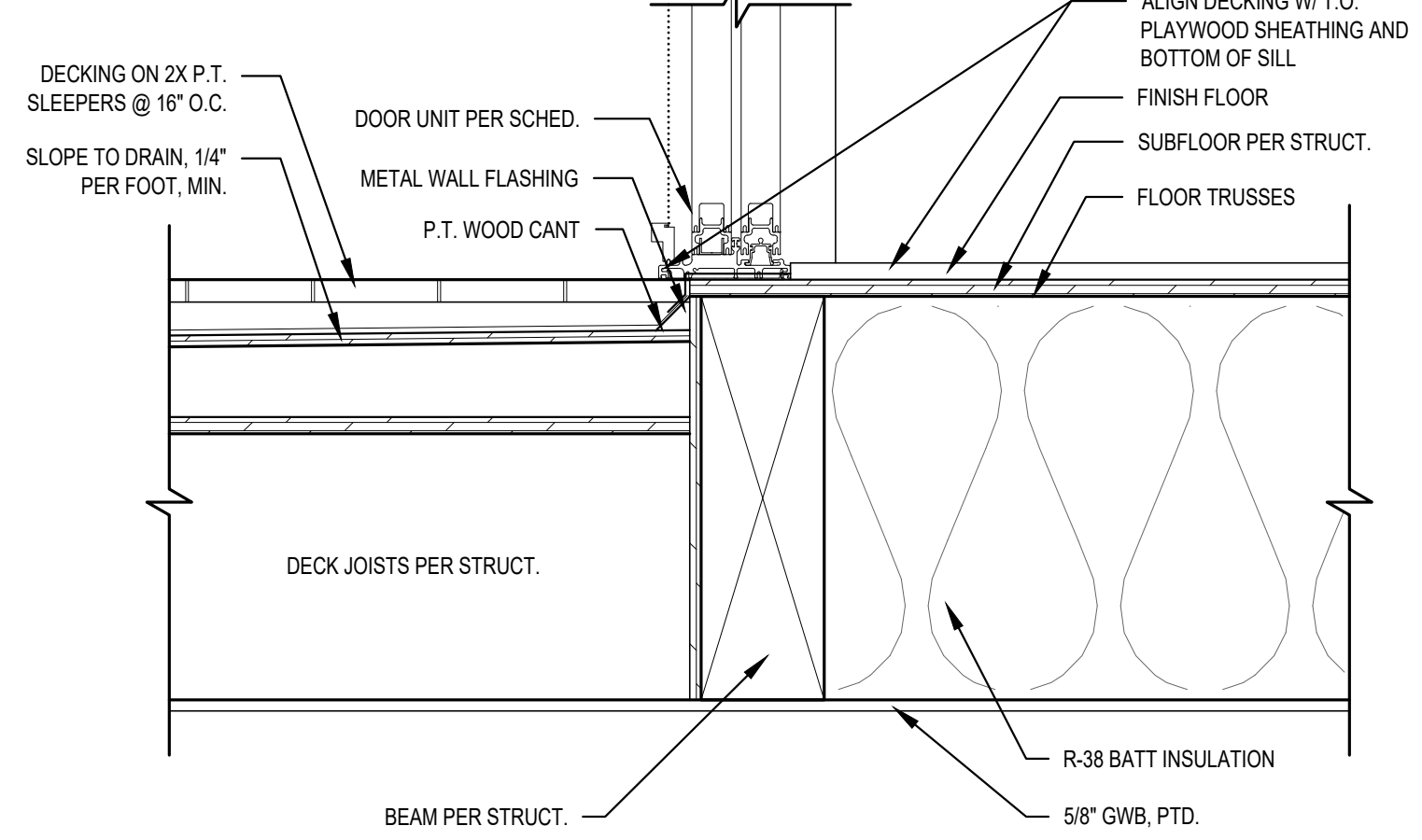
8 TYPICAL VENTED ROOF EAVE DETAIL
SCALE: 1-1/2" = 1'-0"



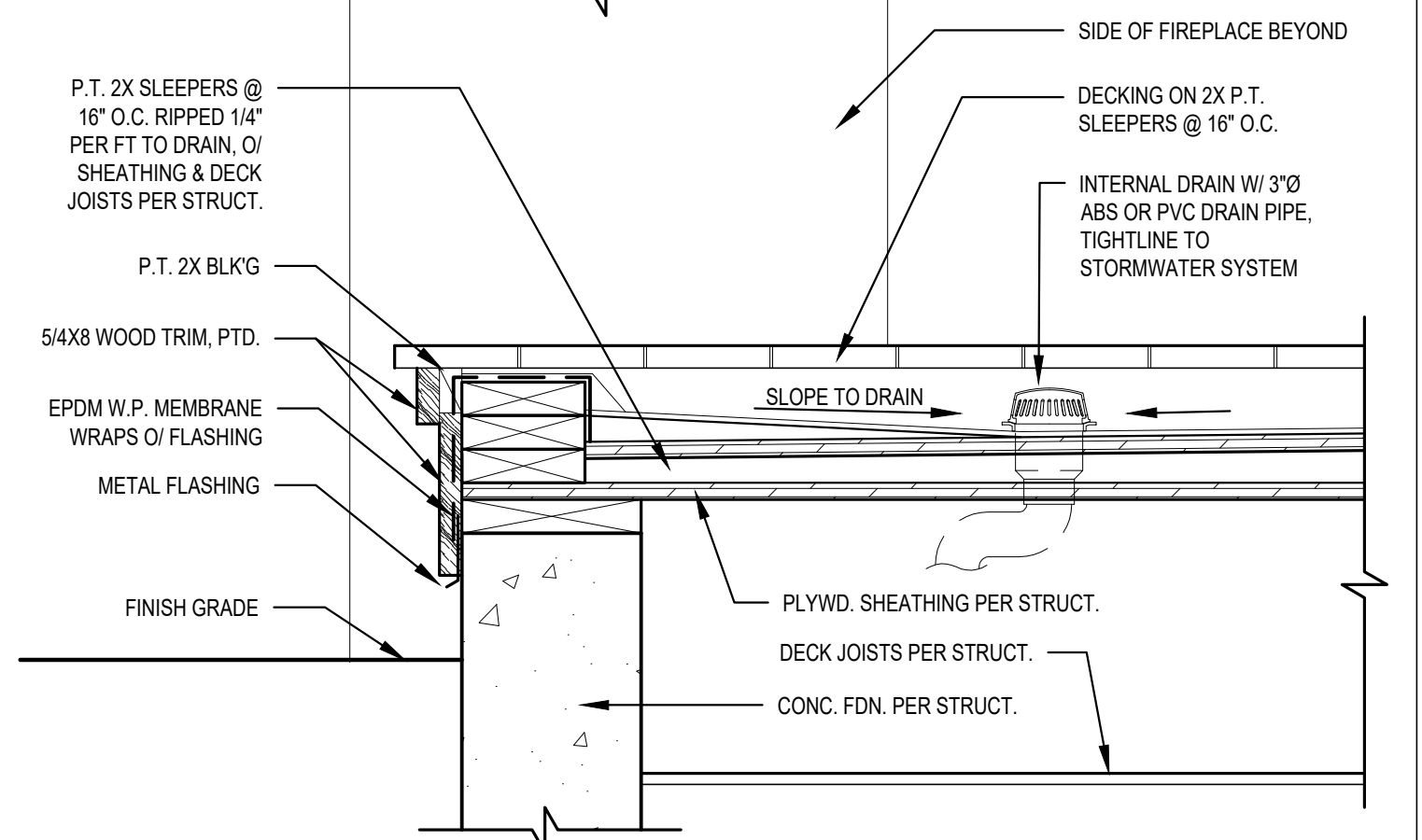
9 TYPICAL WINDOW SILL DETAIL
SCALE: 3" = 1'-0"



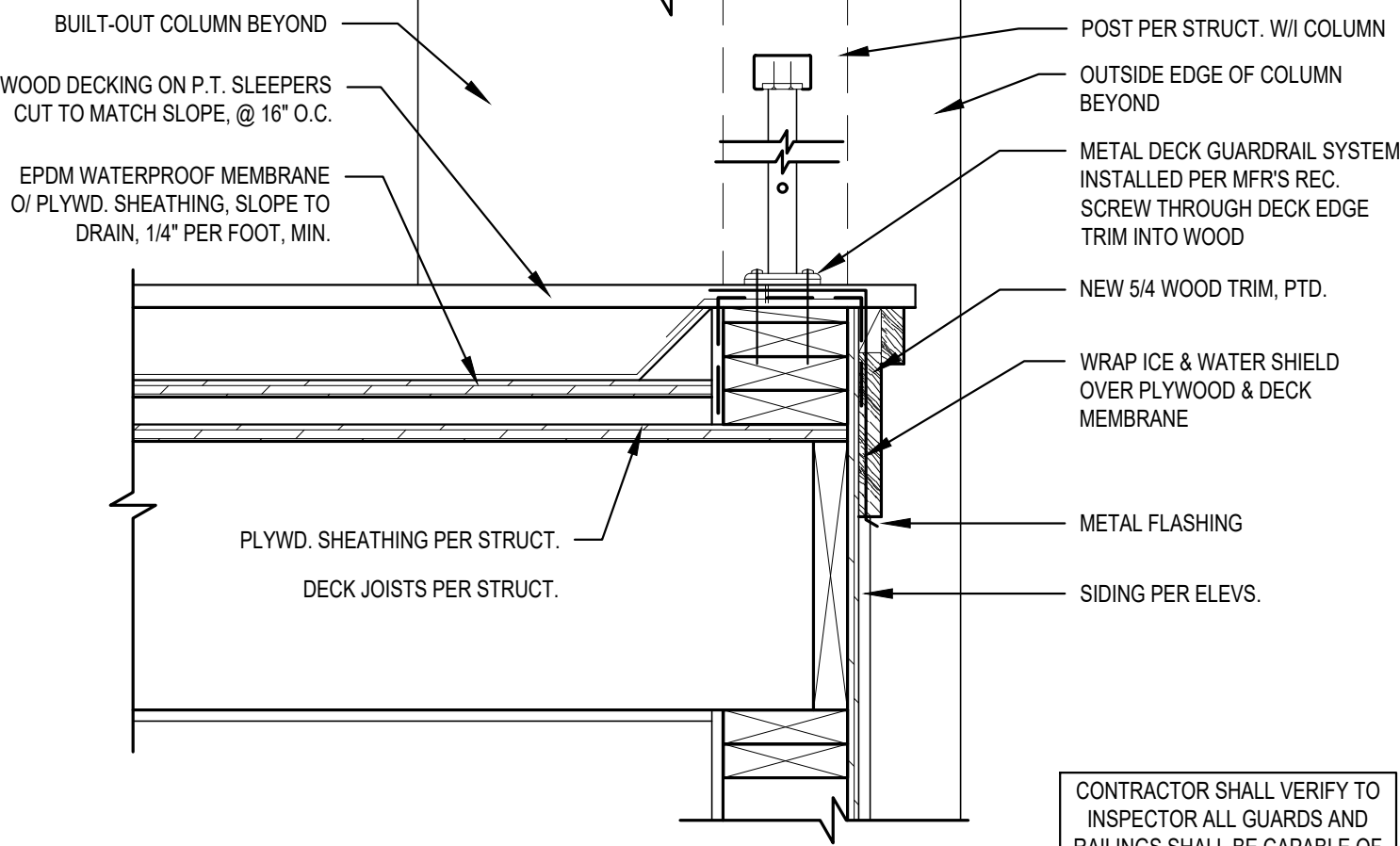
10 TYPICAL FURRED ROOF EAVE DETAIL
SCALE: 1-1/2" = 1'-0"



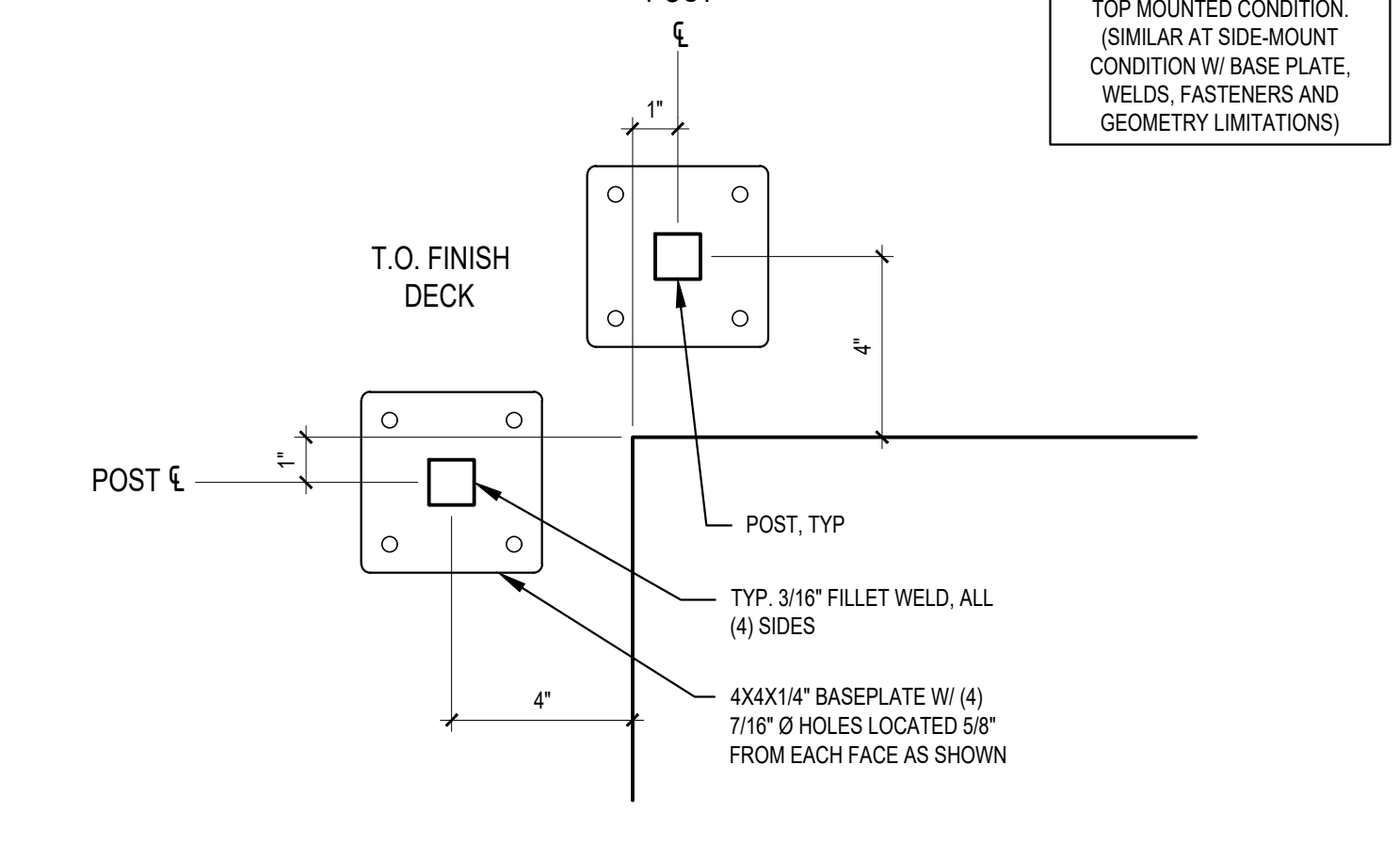
11 THRESHOLD DTL. AT WATERPROOF DECK
SCALE: 1 1/2" = 1'-0"



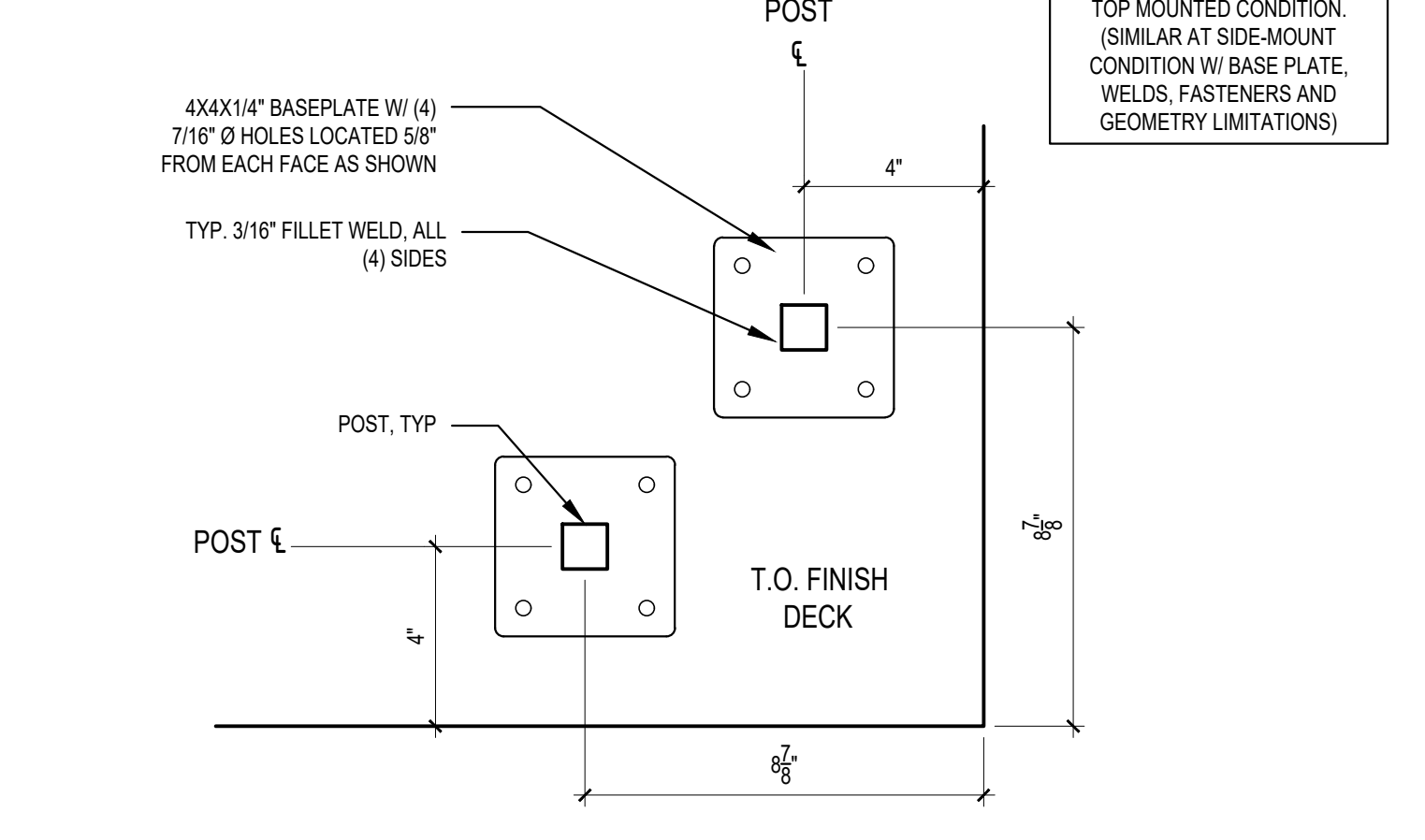
12 DRAINAGE @ W.P. DECK
SCALE: 1 1/2" = 1'-0"



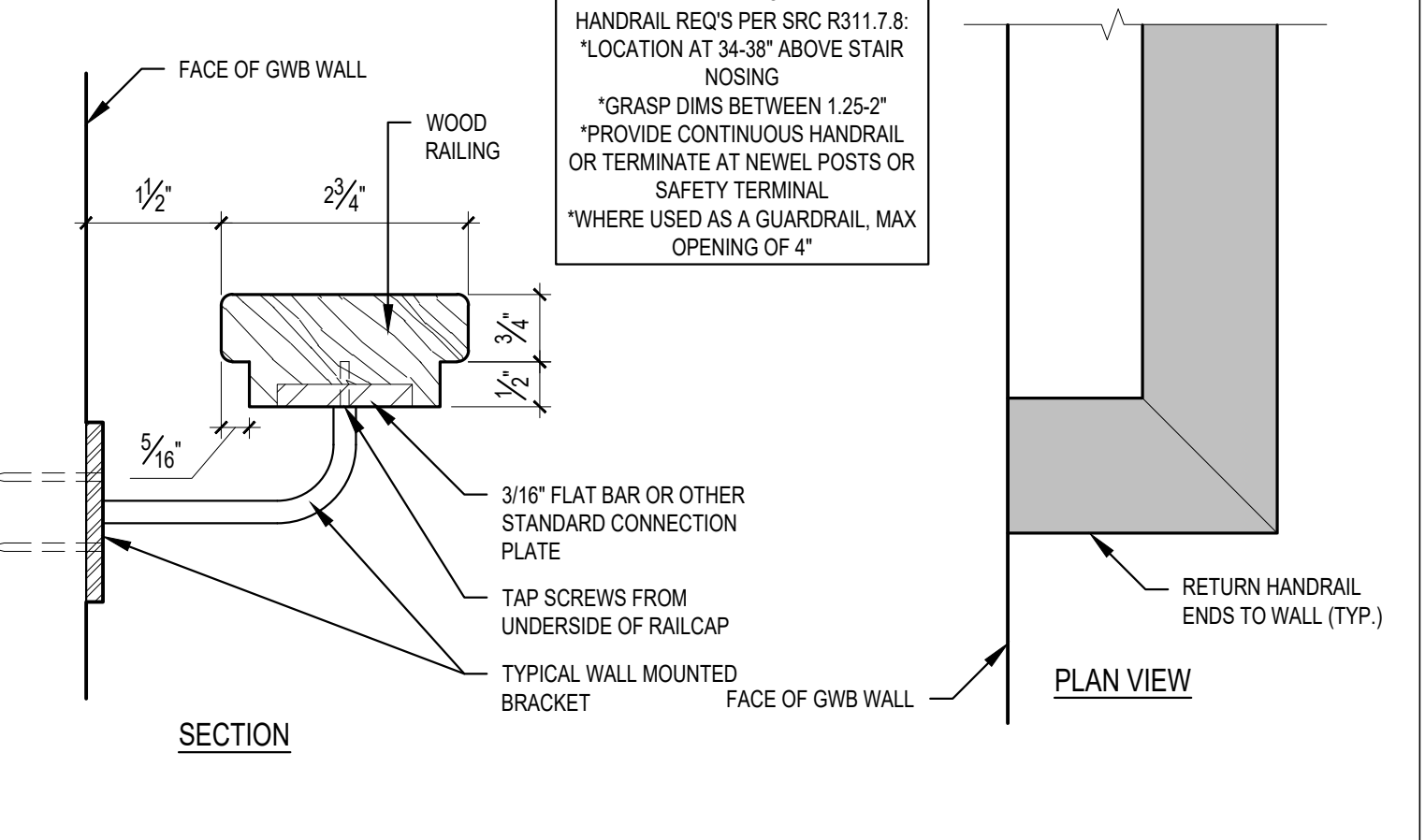
13 DECK GUARDRAIL SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



14 GUARDRAIL PLATE ATTACHMENT
SCALE: 3" = 1'-0"

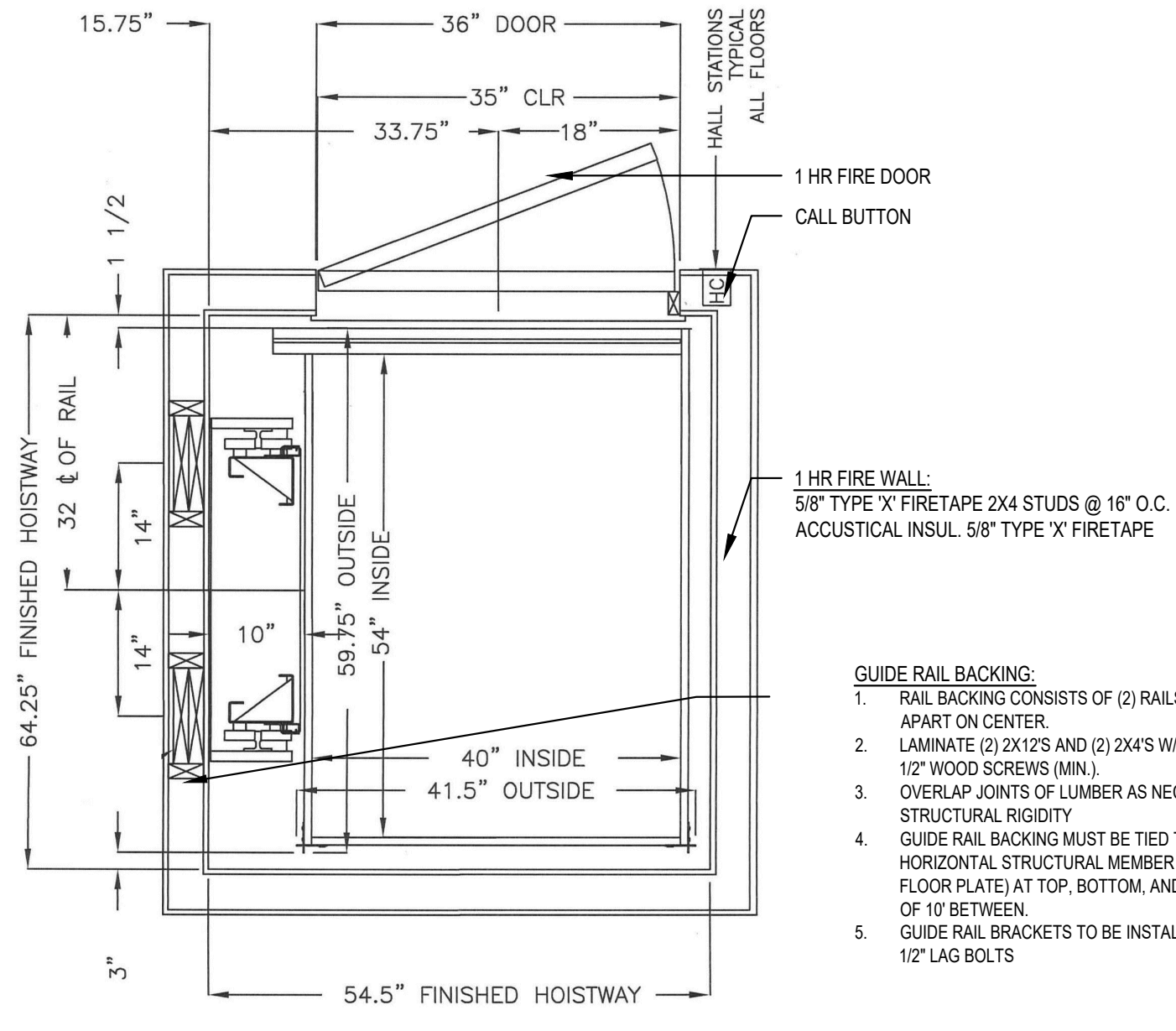


15 GUARDRAIL PLATE ATTACHMENT
SCALE: 3" = 1'-0"



16 TYPICAL HANDRAIL DETAIL
SCALE: 6" = 1'-0"

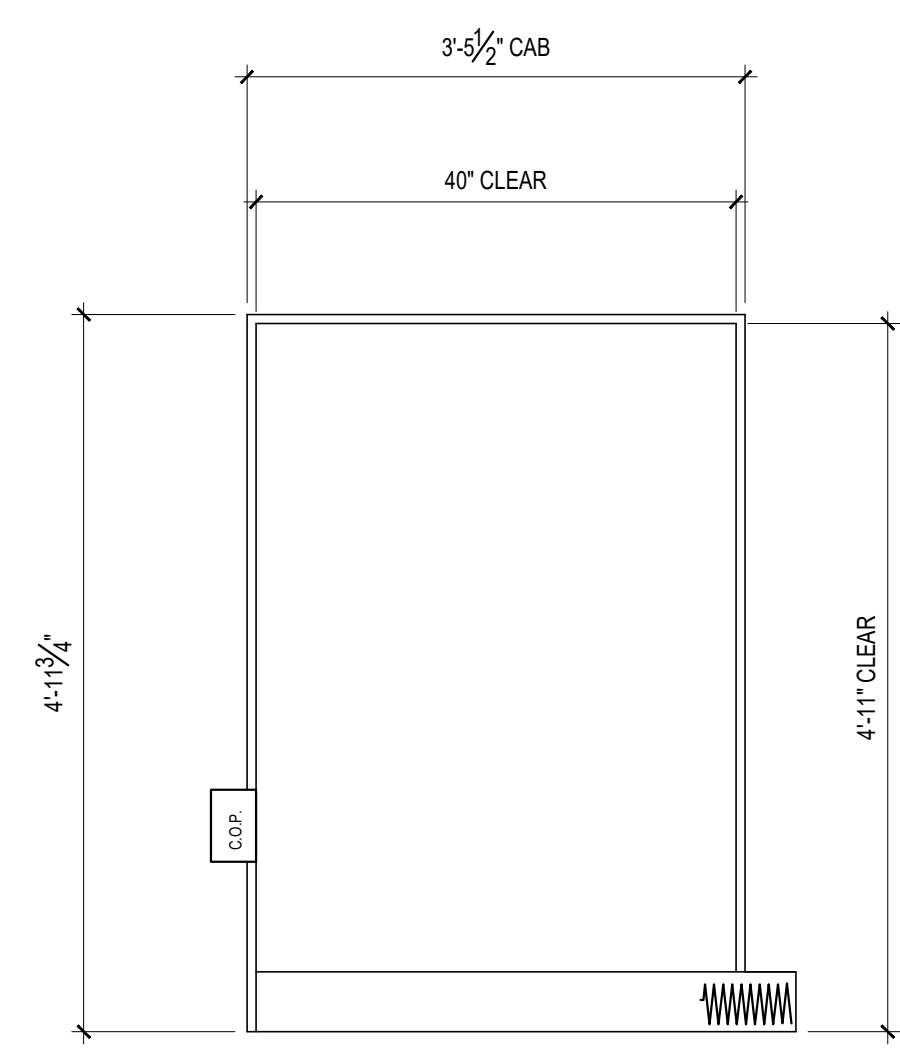
NOTE:
SEE LUXOR ELEVATOR HOISTWAY
MANUFACTURER'S DRAWINGS FOR
ADDITIONAL CONSTRUCTION
DETAILS AND NOTES



SHAFT PLAN

GUIDE RAIL BACKING:
1. RAIL BACKING CONSISTS OF (2) RAILS MOUNTED 14" APART ON CENTER
2. LAMINATE (2) 2X12'S AND (2) 2X4'S W/ GLUE & #8X2 1/2" WOOD SCREWS (MIN.)
3. OVERLAP JOINTS OF LUMBER AS NECESSARY FOR STRUCTURAL INTEGRITY
4. GUIDE RAIL BACKING MUST BE TIED TO A HORIZONTAL STRUCTURAL MEMBER (HEADER OR FLOOR PLATE) AT TOP, BOTTOM, AND A MAXIMUM OF 10' BETWEEN
5. GUIDE RAIL BRACKETS TO BE INSTALLED W/ 1/2" X 3 1/2" LAG BOLTS

- NOTES:
1. LOCAL, STATE, & NATIONAL CODES MUST ALWAYS BE FOLLOWED
 2. 3'-6" MINIMUM CLEARANCE IN FRONT OF CONTROLLER PANEL REQUIRED PER N.E.C.
 3. FUSED DISCONNECT SWITCH AND LIGHT SWITCH TO BE LOCATED ON STRIKE JAMB SIDE OF MACHINE ROOM DOOR
 4. PROVIDE HANDRAILS PER ADA
 5. PROVIDE ADEQUATE WALL SUPPORTS FOR T-RAIL FASTENINGS. VERTICAL INTERVALS NOT TO EXCEED 10'-0" COMPLY TO ALL PERTINANT BUILDING CODES
 6. PRIVATE RESIDENCE ELEVATORS SHALL COMPLY WITH ASME A17.1 AS REQUIRED BY R323.1
 7. WASHINGTON STATE DEPT OF L&I ELEVATOR SECTION MUST PERFORM A SAFETY INSPECTION AND ISSUE AN ANNUAL OPERATING PERMIT FOR ELEVATORS. L&I CONTACT 360.902.8130

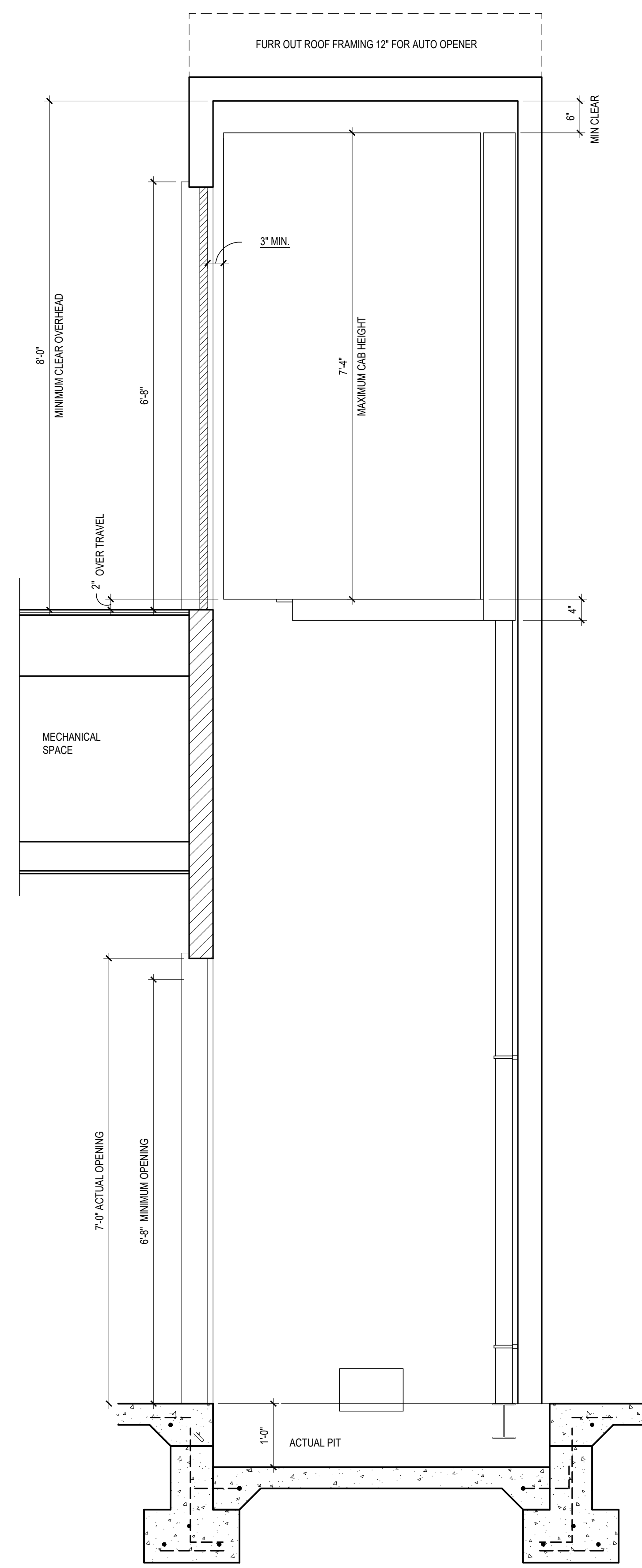


CAB PLAN

1 ELEVATOR PLANS
SCALE: 3/4" = 1'-0"

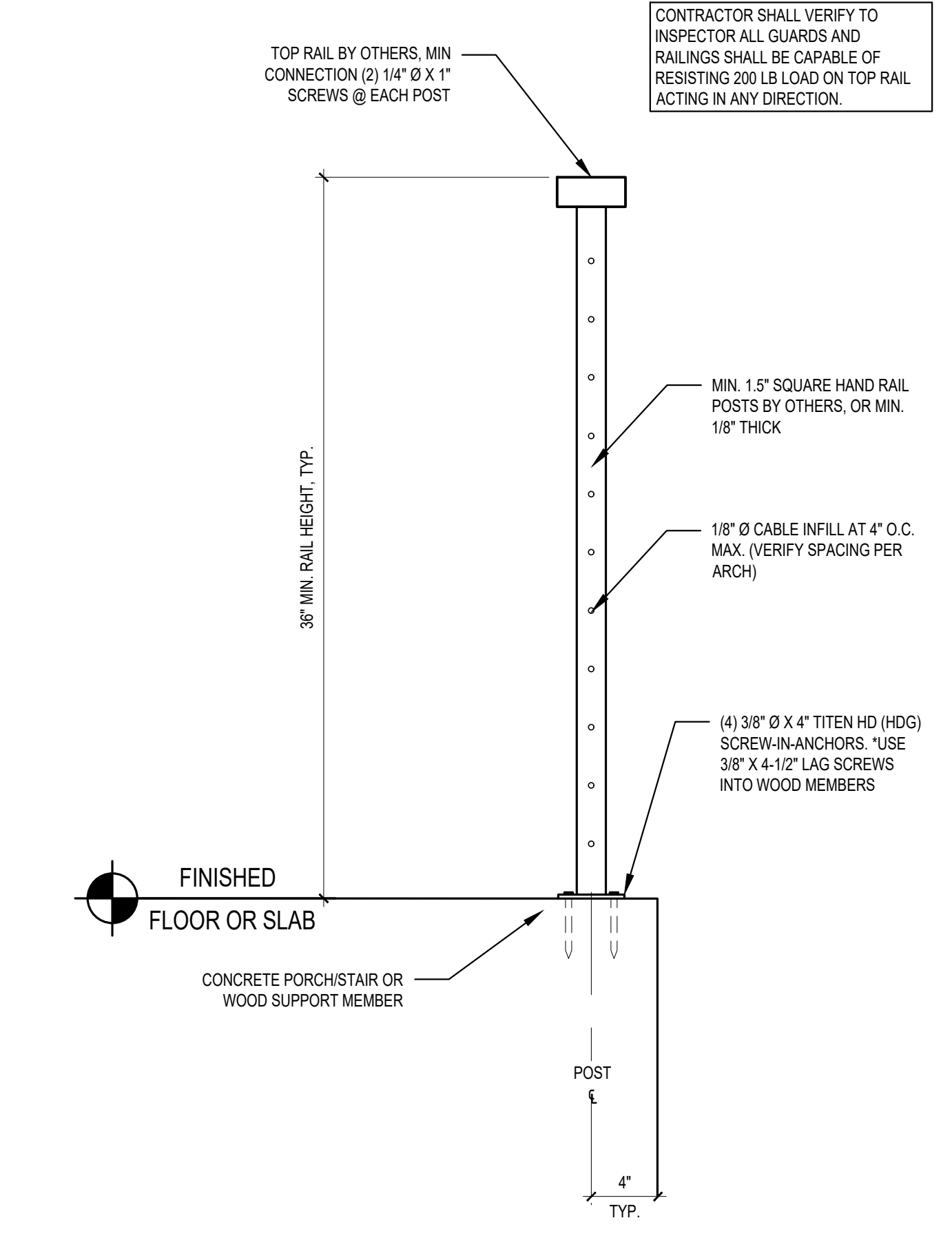
2 NOT USED
SCALE: 3/4" = 1'-0"

- NOTES:
1. IF 8'-0" MINIMUM CLEARANCE CANNOT BE OBTAINED, CONTACT THE FACTORY FOR FURTHER INFORMATION
 2. MAXIMUM TRAVEL 50'-0"
 3. PIT FLOOR TO BE DESIGNED FOR A LOAD OF 1200 LBS.
 4. TALLER CAB HEIGHT REQUIRES ADDITIONAL OVERHEAD CLEARANCE
 5. FOR CHP-100 AUTO GATE OPERATOR PROVIDE AN ADDITIONAL 12" OF OVERHEAD CLEARANCE
 6. DIMENSIONS ARE FOR LEVEL 1 & 2

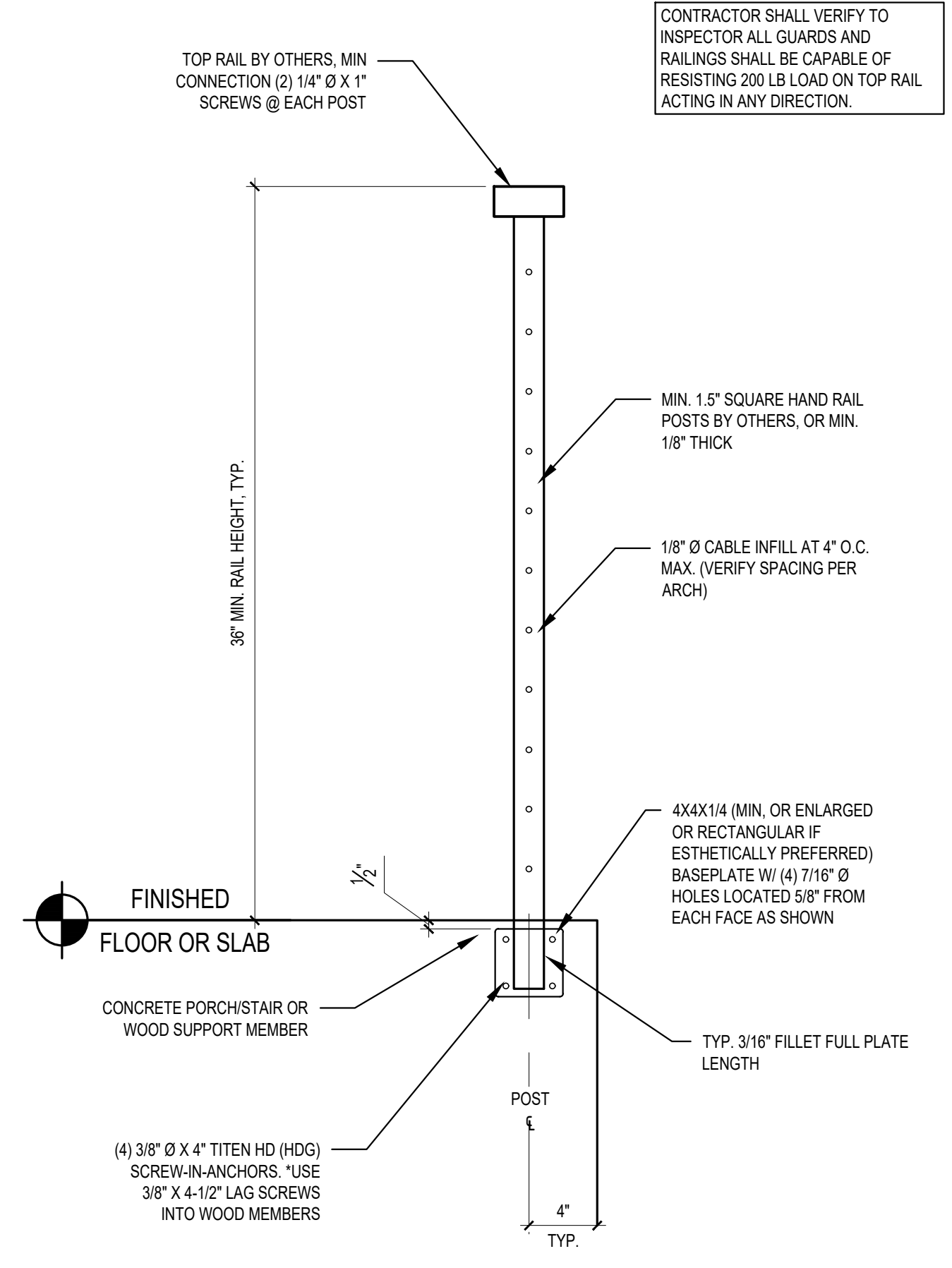


6 ELEVATOR SECTION
SCALE: 3/4" = 1'-0"

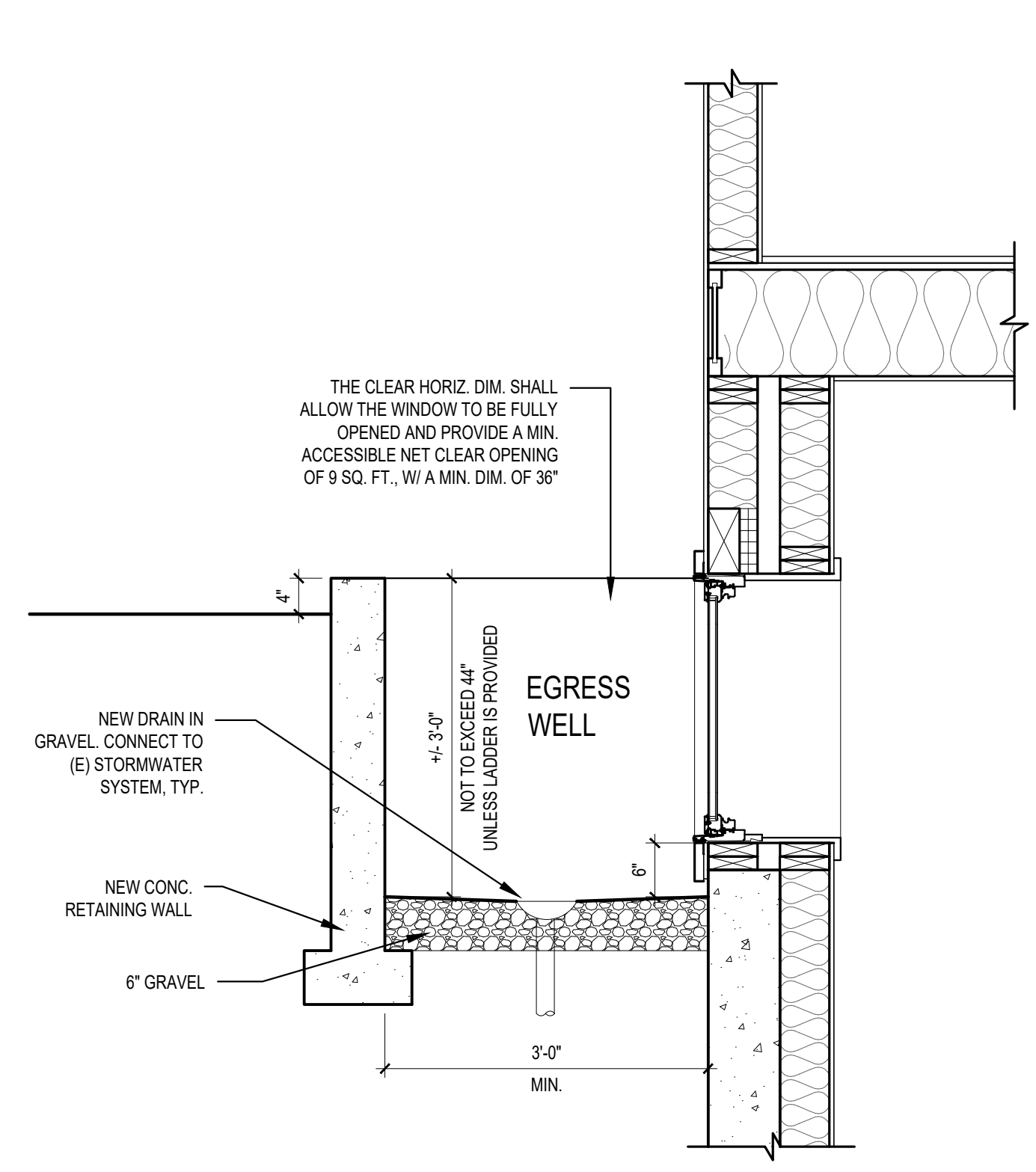
SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT, REDUCE SCALE ACCORDINGLY
PERMIT SET 05/06/21



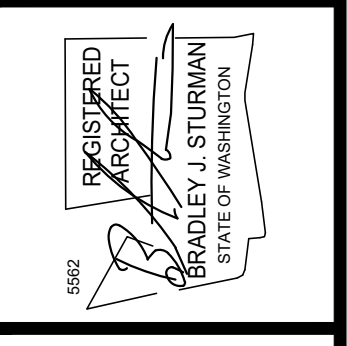
3 RAILING ATTACHMENT - TOP-MOUNTED
SCALE: 1-1/2" = 1'-0"



4 RAILING ATTACHMENT - SIDE-MOUNTED
SCALE: 1-1/2" = 1'-0"



5 EGRESS WELL SECTION DETAIL
SCALE: 3/4" = 1'-0"



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FOREST CREEK ESTATES LOT 4
PERMIT SET
5202 FOREST AVE S.E.
MERCER ISLAND, WA 98040

ARCHITECTURAL DETAILS

REVISIONS:	
2021-07-18 PERMIT CORRECTIONS	
DRAWN BY:	KE
CHECKED BY:	BJS
SHEET	

FOREST AVE LOT 4

S200420

PROJECT INFORMATION

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 JON TELLEFSON
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 BELLEVUE, WA 98015

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 5202 FOREST AVE SE,
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 STURMAN ARCHITECTS
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STRUCTURAL ENGINEER
 L120 ENGINEERING & DESIGN
 13150 91st PL NE
 KIRKLAND WA, 98034
 PHONE: (206) 790-9502
 CONTACT: MANS THURFJELL, PE

CODES

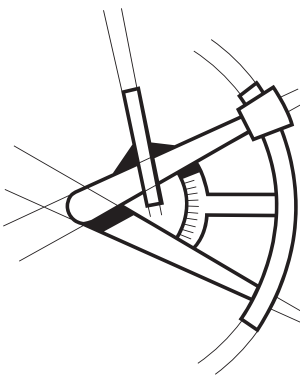
ENGINEERED PER:
 2015 (SRC) SEATTLE RESIDENTIAL CODE
 2015 (SBC) SEATTLE BUILDING CODE

SHEET INDEX

- COVER SHEET...S-0
- STRUCTURAL GENERAL NOTES...S-1
- FOUNDATION PLAN...S-2
- FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-3
- SECOND FLOOR FRAMING PLAN...S-4
- SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-5
- THIRD FLOOR FRAMING PLAN...S-6
- THIRD FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-7
- THIRD FLOOR CEILING FRAMING PLAN...S-8
- ROOF FRAMING PLAN...S-9
- STRUCTURAL DETAILS...SD-1
- STRUCTURAL DETAILS...SD-2
- STRUCTURAL DETAILS...SD-3



LONGITUDE
ONE TWENTY
 ENGINEERING & DESIGN



REVISIONS

△	DESCRIPTION	DATE	BY
1	- BDC	21/03/26	AP

PROJECT NAME

FOREST AVE LOT 4

PROJECT NUMBER

S200420

DRAWN BY - AP

CHECKED BY - MT

SHEET DATE - 03/03/2021

SCALE

24X36 SHEET: 1/4" = 1'-0"

DESCRIPTION

COVER SHEET

SHEET

S-0

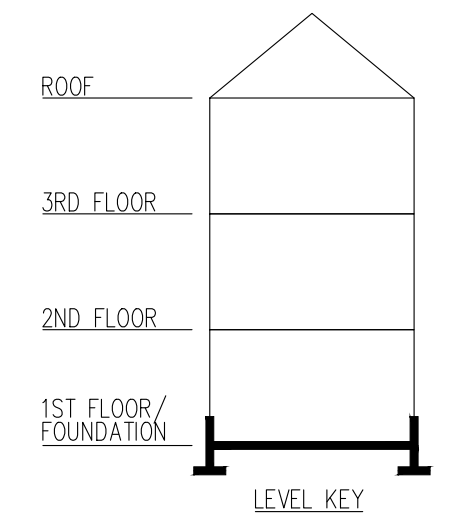
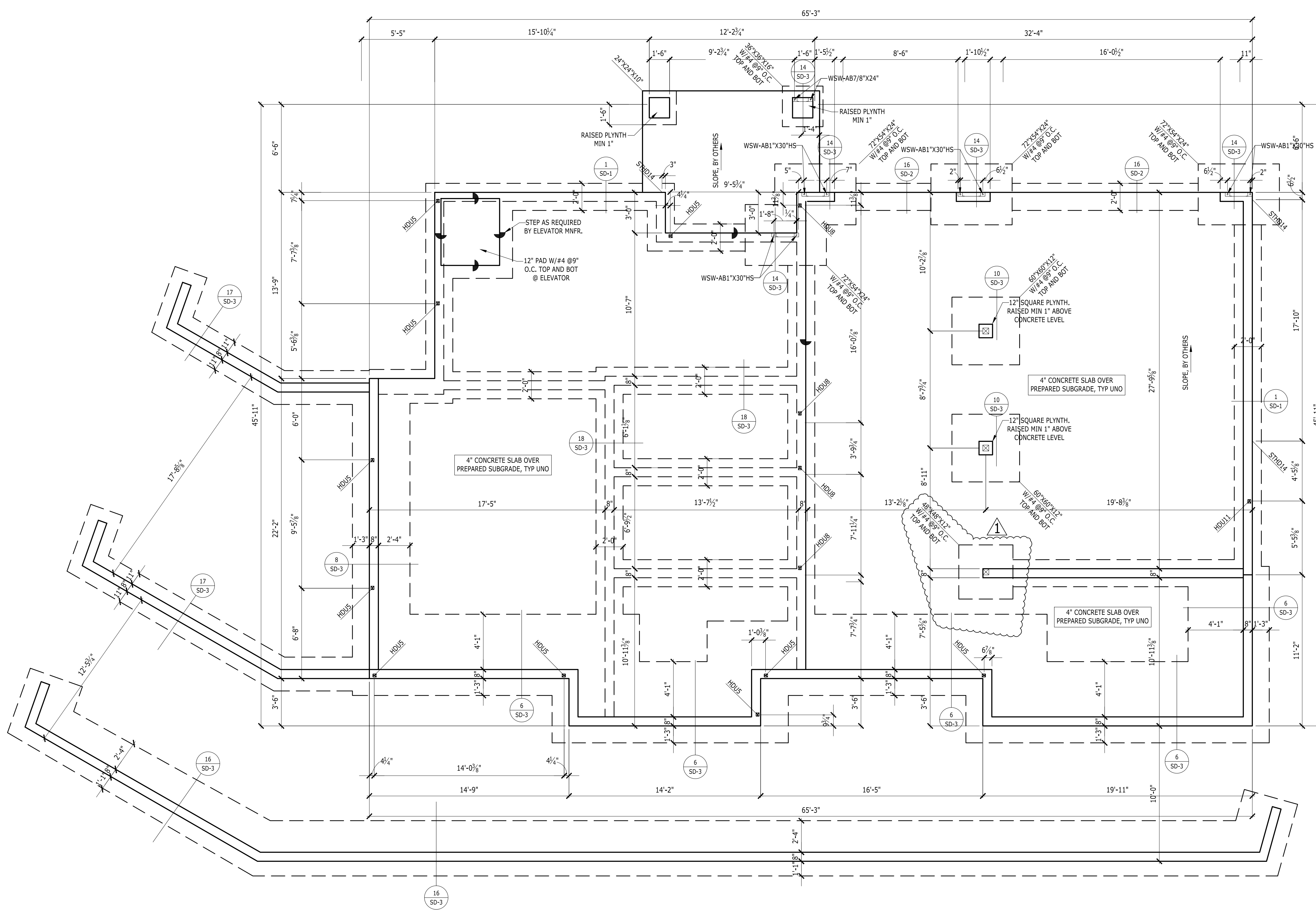
FOUNDATION NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMMODATE 3X SILL PLATE.
- FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. REFERENCE ARCH SET (OR OTHERS IF APPLICABLE) FOR FOOTING DRAINS AROUND PERIMETER OF BUILDING.
- PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
- ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"X3"X1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
- CJ INDICATES CONTROL JOINT.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS.
- TYPICAL DETAILS:
 - 1/SD-1 TYP STEM WALL
 - 2/SD-1 TYP INTERIOR FOOTING
 - 3/SD-1 TYP CRAWLSPACE VENT
 - 4/SD-1 TYP FOOTING STEP
 - 5/SD-1 TYP CORNER BARS REQ'T
 - 7/SD-1 TYP CONSTRUCTION JOINT
 - 8/SD-1 TYP BAR BEND AND HOOK DETAIL
 - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
 - 10/SD-1 TYP STHD HOLDOWN SECTION
 - 11/SD-1 TYP HOLDOWN INSTALLATION
 - 12/SD-1 TYP PONY WALL DETAIL

HOLDOWN SCHEDULE			
MODEL	ANCHOR	EMBEDMENT	MIN END POST
CS16/CS14	-	-	1-2X EA
MST#	-	-	2-2X OR 3X
STHD14/STHD14RJ	-	-	2-2X OR 3X
HDU2	5/8" TR	12"	2-2X OR 3X
HDU5	5/8" TR	12"	2-2X
HDU8	7/8" TR	12"	3-2X
HDU11	1" TR	12"	6X6
HDU14	1" TR	15"	6X6
HD19	1 1/4" TR	15"	6X6

FOUNDATION LEGEND

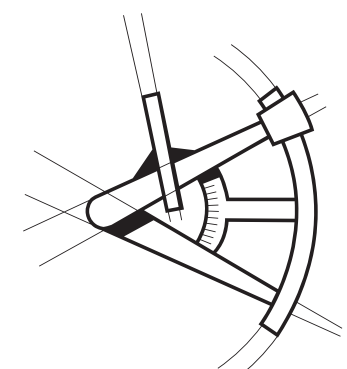
- INDICATES STEP AT T/FOUNDATION
- INDICATES STEP AT B/FOUNDATION
- TANK WALL (TOP OF WALL NOT TO STEP WITHIN HATCHED REGION)
- HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)
- FOOTING CENTERED ON POST (L X W X T)



FOUNDATION PLAN



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REVISIONS

DESCRIPTION	DATE	BY
1 - BDC	21/03/26	AP

PROJECT NAME

FOREST AVE LOT 4

PROJECT NUMBER

S200420

DRAWN BY - AP

CHECKED BY - MT

SHEET DATE - 03/03/2021

SCALE

24X36 SHEET: 1/4" = 1'-0"

FOUNDATION PLAN
SHEET S-2

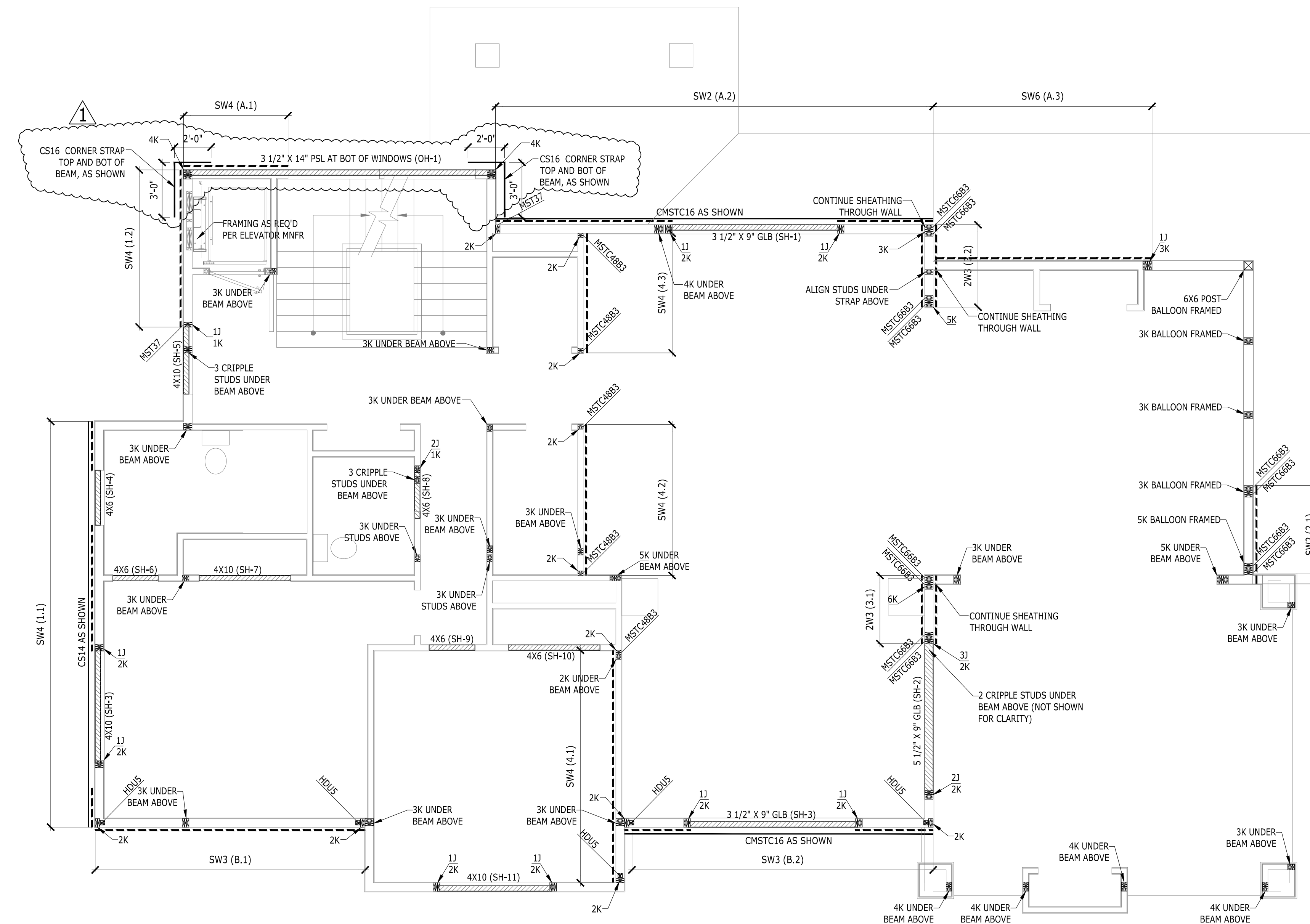
WALL FRAMING AND SHEAR WALL NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- LUMBER GRADE PER GENERAL STRUCTURAL NOTES.
- ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED TOGETHER WITH 16d @ 6" O.C.
- EXTERIOR WALL STUDS SHALL BE 2X6 @ 16" O.C. ($\leq 10'$), 2X6 @ 12" O.C. ($> 10'$) UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16" O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
- SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C. @ SW2 AND SW2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.1310 X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8" \times 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3" \times 3" \times 1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- TYPICAL DETAILS:
 - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
 - 10/SD-1 TYP STHD HOLDOWN SECTION
 - 11/SD-1 TYP HOLDOWN INSTALLATION
 - 12/SD-1 TYP PONY WALL DETAIL
 - 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
 - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
 - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
 - 17/SD-1 TYP NON-BEARING WALL FRAMING
 - 20/SD-1 TYP TOP PLATE SPLICE
 - 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
 - 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL
 - 3/SD-2 TYP HEADER FRAMING

FRAMING AND SHEATHING LEGEND

- HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)
- INDICATES THE NUMBER OF KING AND JACK STUDS
- INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK)
- HORIZONTAL STRAP (EXAMPLE)
- HEADER
- SHEAR WALL CALLOUT
REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE
REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE
-

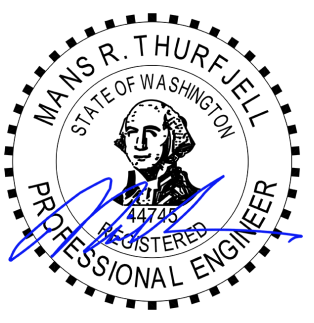
SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN



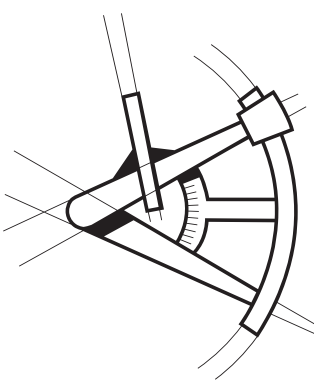
SHEAR WALL SCHEDULE

WALL	SHEATHING	PANEL EDGE NAILING (COMMON OR GALV BOX NAILS)	PANEL EDGE STUDS	ANCHOR BOLTS 5/8" \times 7" EMBED 7"	RIM CONNECTION		
					AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .1480 \times 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.



LONGITUDE
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DESCRIPTION	DATE	BY	
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DRAWN BY - AP

CHECKED BY - MT

SHEET DATE - 03/03/2021

SCALE
24X36 SHEET: 1/4" = 1'-0"

SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN

DESCRIPTION

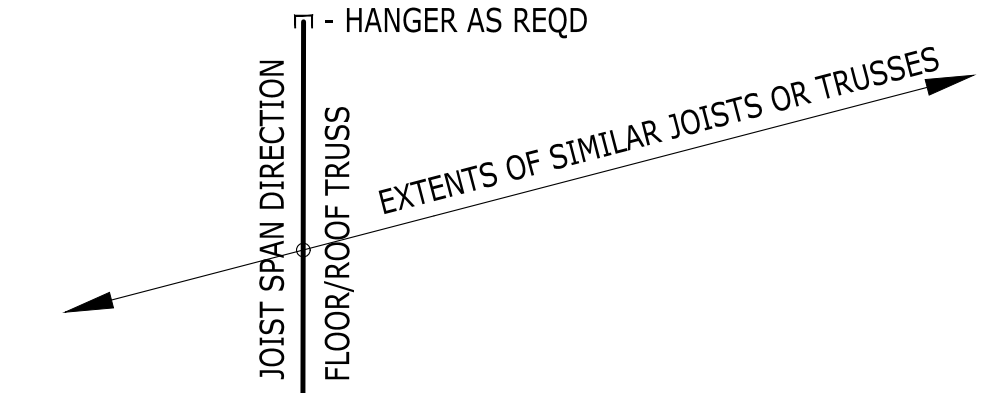
SHEET S-5

FLOOR FRAMING NOTES

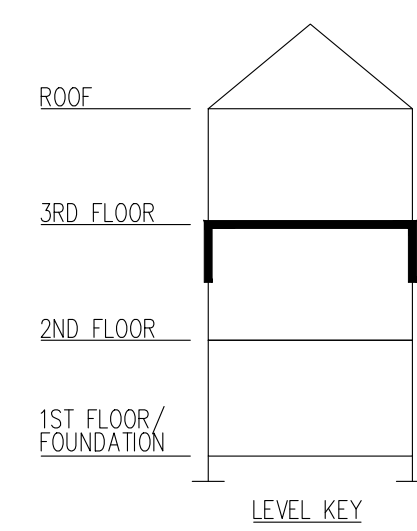
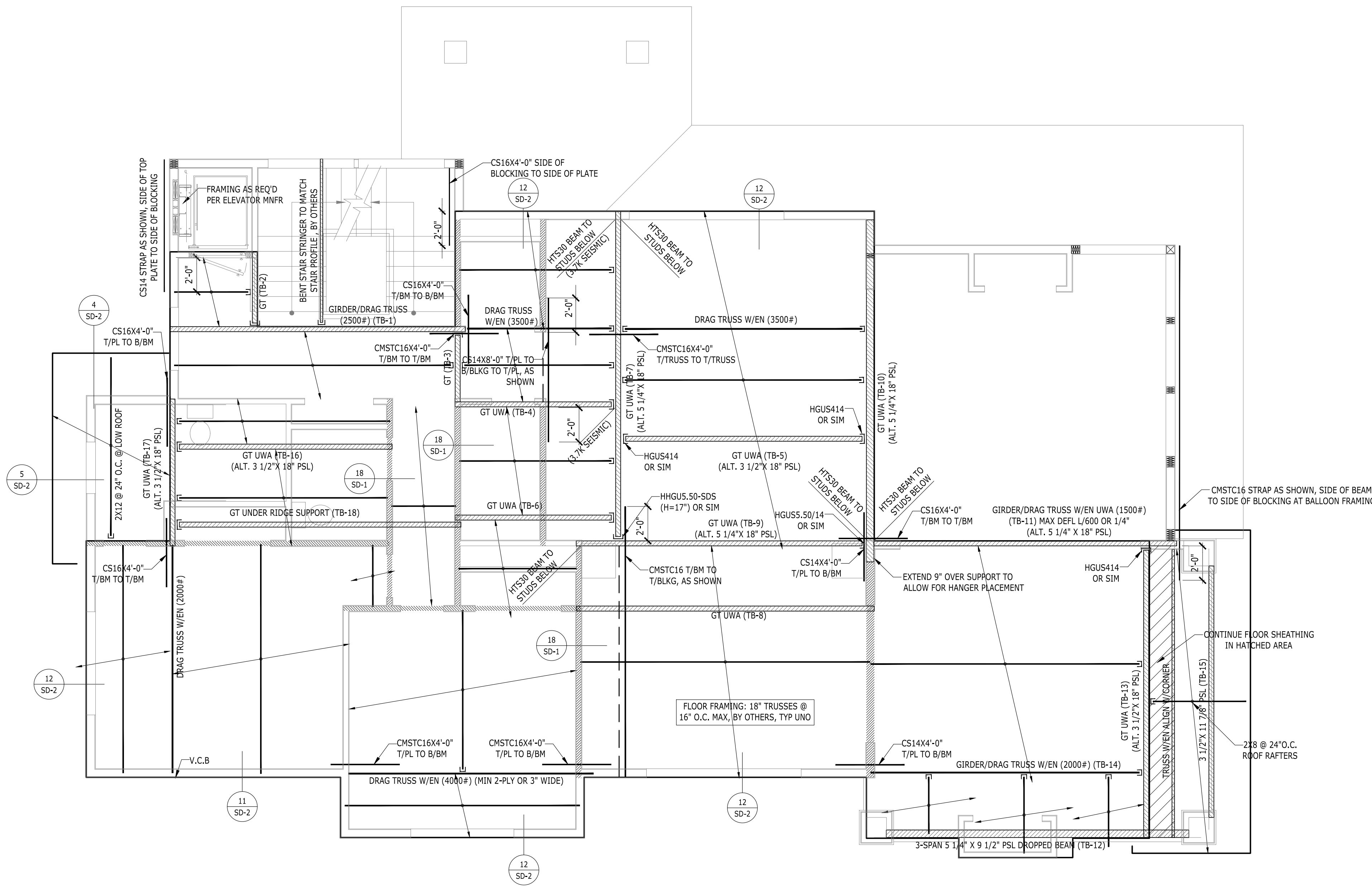
- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD. UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/B/EAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/B/EAM EQUAL T/JOISTS AND B/B/EAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/B/EAM EQUAL B/JOISTS AND T/B/EAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- TYPICAL DETAILS:
 - 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
 - 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
 - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
 - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
 - 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
 - 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
 - 19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

FRAMING LEGEND

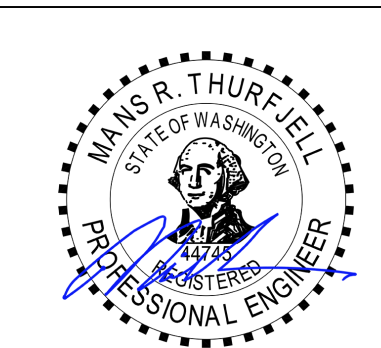
- BLOCKED FLOOR DIAPHRAGM
- STEEL BEAM (EXAMPLE)
- GIRDER TRUSS
- FLOOR BEAM
- INTERIOR BEARING WALL
- STRAP
- LOW ROOF
- BEAM/HEADER CALL OUT (EXAMPLE)
- REFERENCE TO BEAM OR TRUSS
- CALCULATION IN CALCULATION PACKAGE
- BEAM OR TRUSS MEMBER
- HANGER AS REQ'D



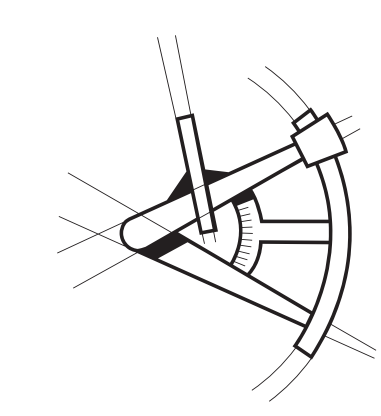
TYPICAL JOIST HANGER SCHEDULE			
TJ1210			
11 7/8"	2-PLY 11 7/8"	14"	2-PLY 14"
IUS2.06/11.88	MIU4.28/11	IUS2.06/14	MIU4.28/14
2X10			
1-PLY		2-PLY	
LUS210		LUS210-2	
TYPICAL BEAM HANGER SCHEDULE			
LVL / LSL / PSL			
1 3/4"	3 1/2"	5 1/4"	7"
11 7/8"	HUS1.81/10	HHUS410	HGUS5.50/12
14"	HUS1.81/10	HHUS410	HGUS5.50/14



THIRD FLOOR FRAMING PLAN



LONGITUDE
ONE TWENTY
ENGINEERING & DESIGN



REVISIONS

DESCRIPTION	DATE	BY
1 - BDC	21/03/26	AP

PROJECT NAME

FOREST AVE LOT 4

PROJECT NUMBER

S200420

DRAWN BY - AP

CHECKED BY - MT

SHEET DATE - 03/03/2021

SCALE

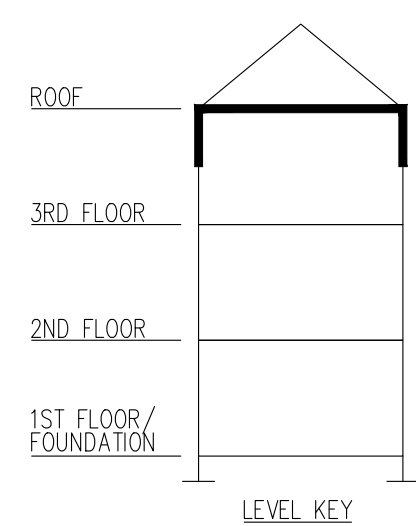
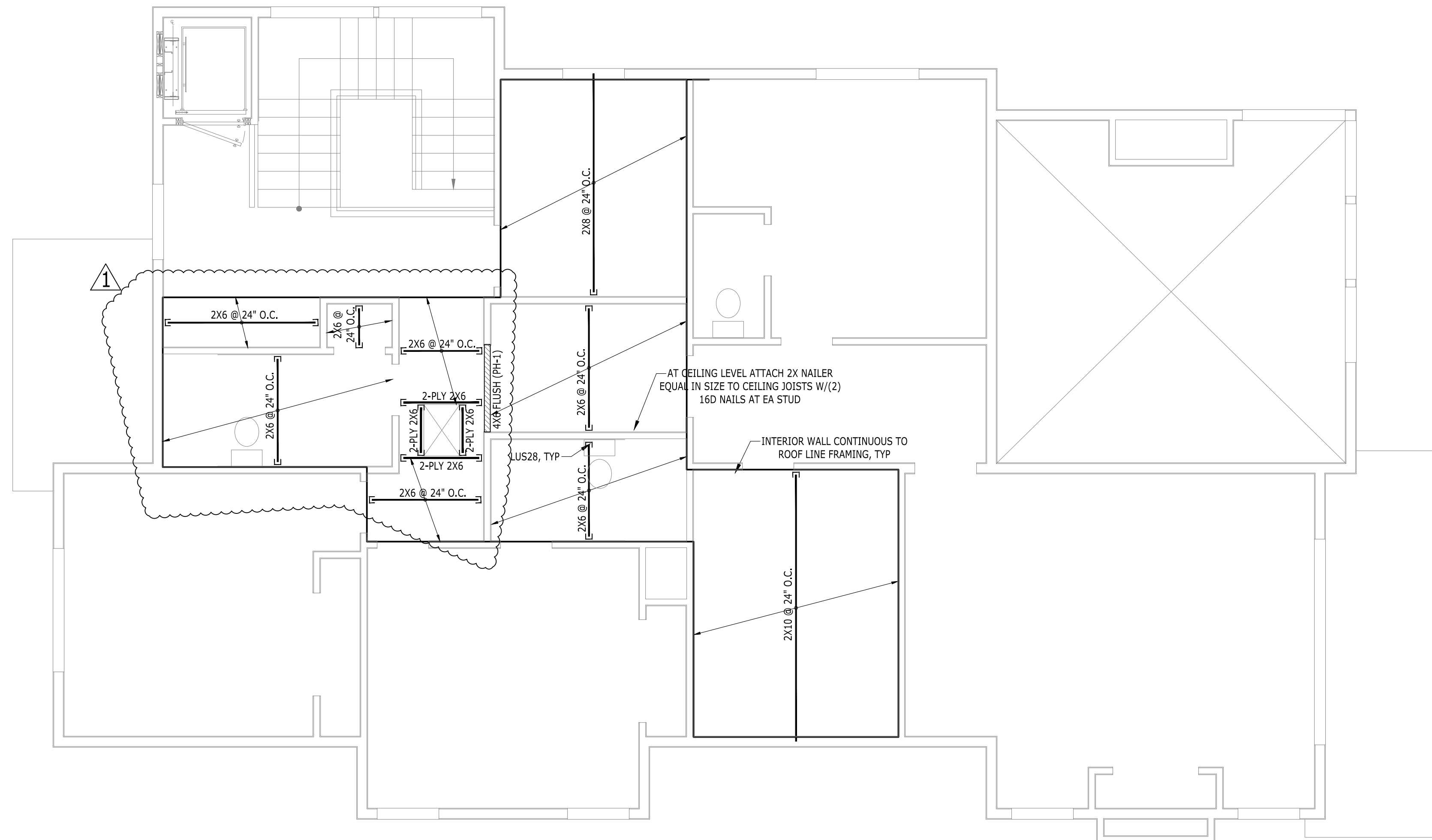
24X36 SHEET: 1/4" = 1'-0"

THIRD FLOOR FRAMING PLAN

SHEET S-6

FLOOR FRAMING NOTES

- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD. UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/B/EAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/B/EAM EQUAL T/JOISTS AND B/B/EAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/B/EAM EQUAL B/JOISTS AND T/B/EAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- TYPICAL DETAILS:
 - 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
 - 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
 - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
 - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
 - 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
 - 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
 - 19/SD-1 TYP FRAMING AT INTERIOR FLUSH WALL



THIRD FLOOR FRAMING PLAN

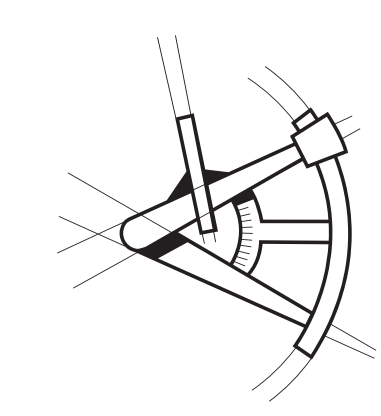
FRAMING LEGEND

- BLOCKED FLOOR DIAPHRAGM
- W10X15 - STEEL BEAM (EXAMPLE)
- GT - GIRDER TRUSS
- FLOOR BEAM
- INTERIOR BEARING WALL
- STRAP
- LOW ROOF
- 3 1/8" X 9" GLB (FH-5) - BEAM/HEADER CALL OUT (EXAMPLE)
- REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
- HANGER AS REQ'D
- JOIST SPAN DIRECTION
- FLOOR/ROOF TRUSS
- EXTENTS OF SIMILAR JOISTS OR TRUSSES

TYPICAL JOIST HANGER SCHEDULE			
TJ1210			
11 7/8"	2-PLY 11 7/8"	14"	2-PLY 14"
IUS2.06/11.88	MIU4.28/11	IUS2.06/14	MIU4.28/14
2X10			
1-PLY		2-PLY	
LUS210		LUS210-2	
TYPICAL BEAM HANGER SCHEDULE			
LVL / LSL / PSL			
1 3/4"	3 1/2"	5 1/4"	7"
11 7/8"	HUS1.81/10	HHUS410	HGUS5.50/12 HGUS7.25/12
14"	HUS1.81/10	HHUS410	HGUS5.50/14 HGUS7.25/14



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REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	- BDC	21/03/26	AP

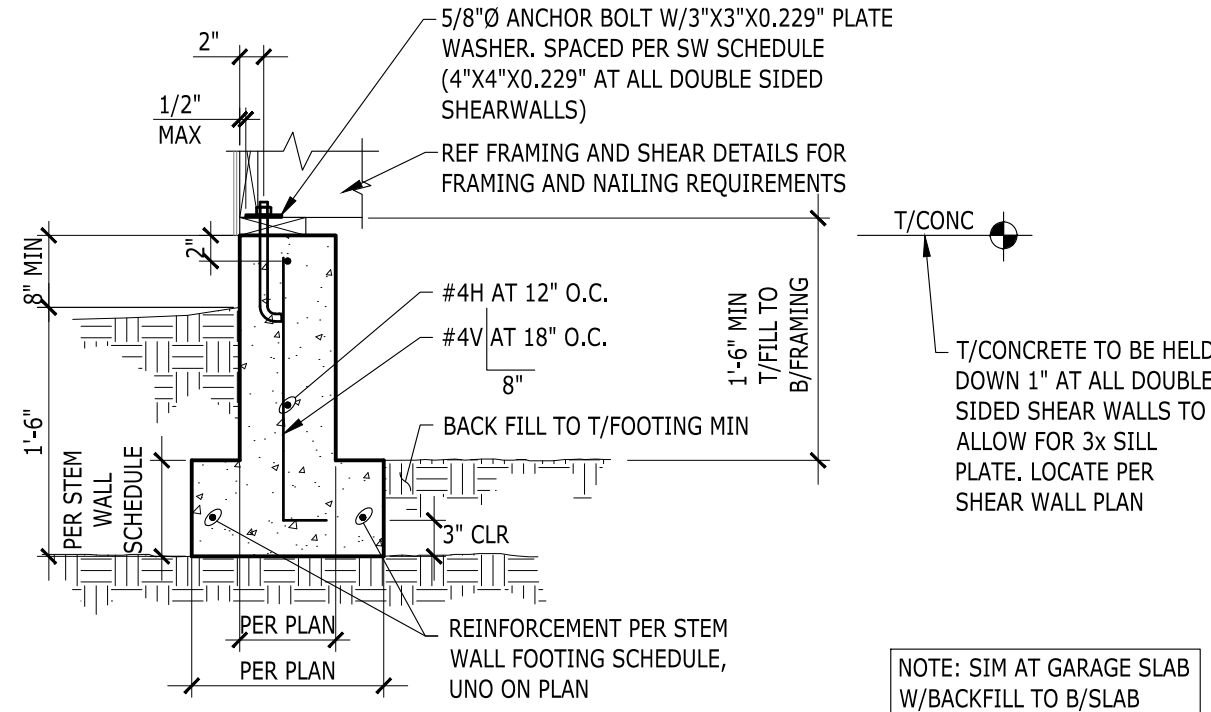
PROJECT NAME	FOREST AVE LOT 4
PROJECT NUMBER	S200420

DRAWN BY - AP
CHECKED BY - MT
SHEET DATE - 03/03/2021

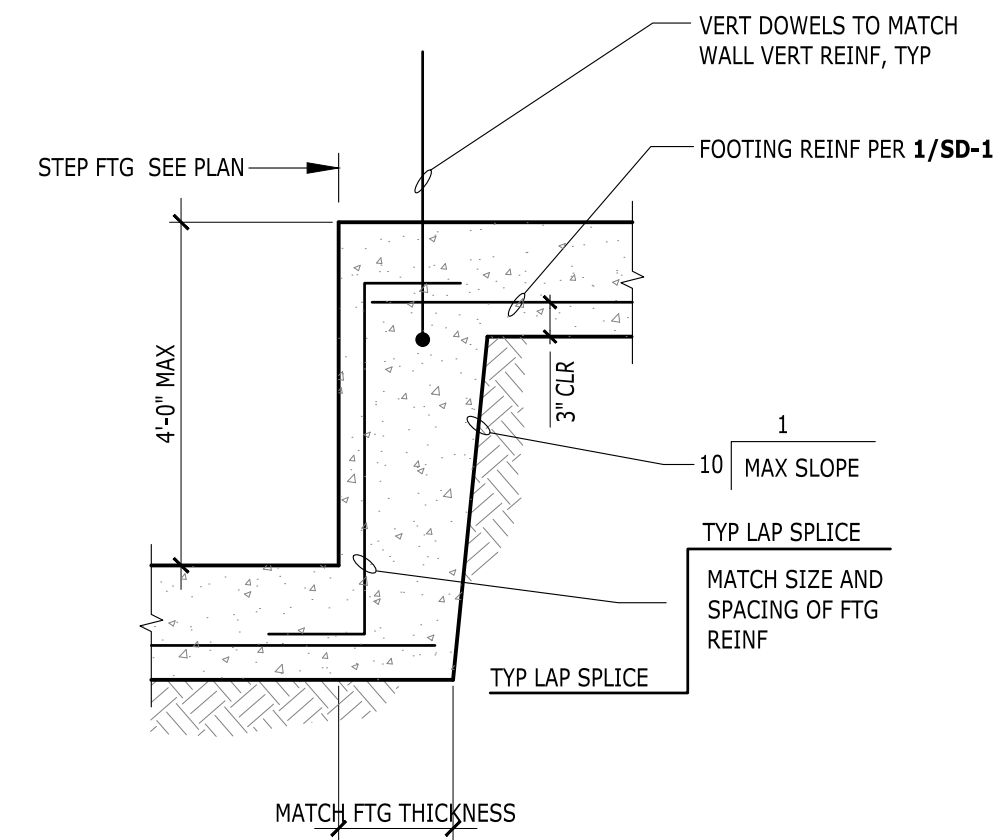
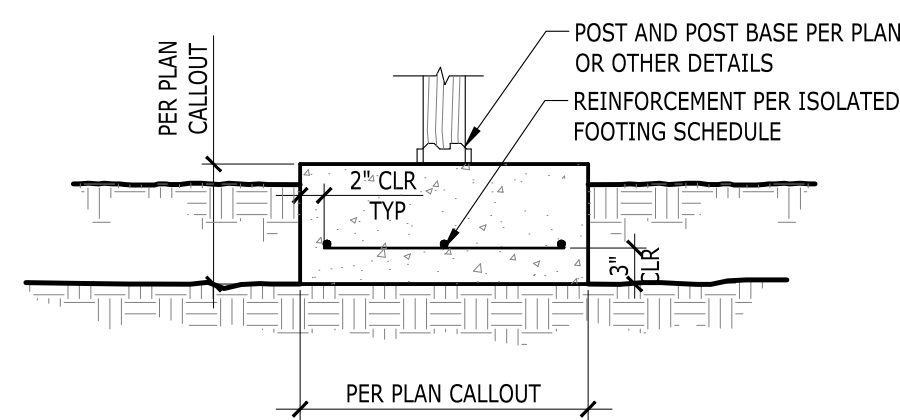
SCALE
24X36 SHEET: 1/4" = 1'-0"

DESCRIPTION
THIRD FLOOR CEILING FRAMING PLAN
SHEET S-8

STEM WALL FOOTING SCHEDULE		
FOOTING WIDTH PER PLAN	FOOTING DEPTH	REINFORCEMENT
1'-4"	8"	(2)#4 CONT
2'-0"	8"	(3)#4 CONT
2'-6"	10"	(3)#4 CONT #4@12" O.C

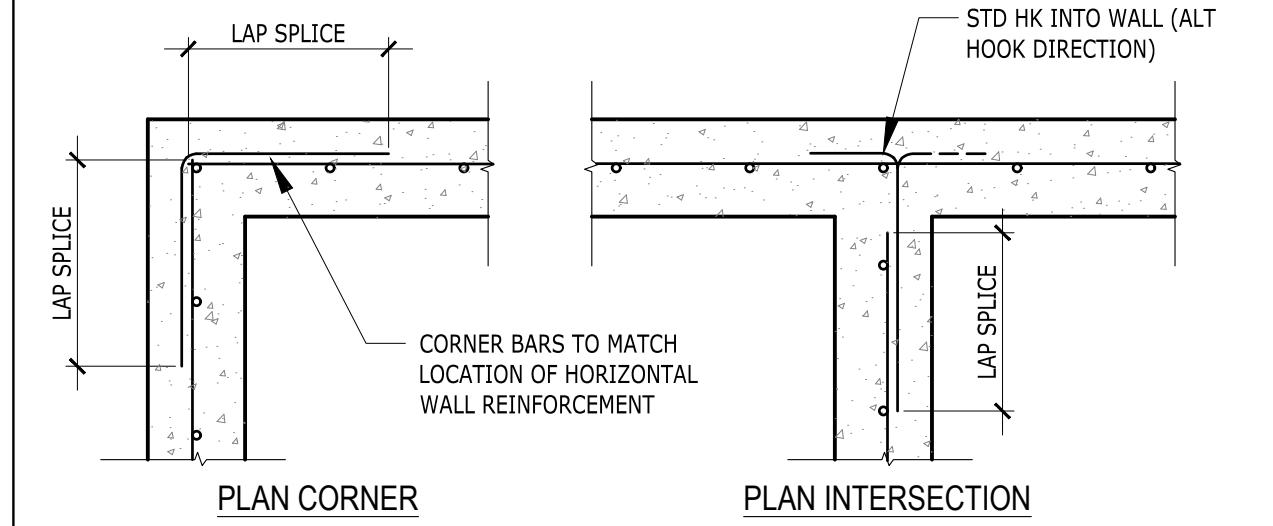


ISOLATED FOOTING SCHEDULE		
FOOTING SIZE PER PLAN		REINFORCEMENT
24" X 24" X 10"		(3)#4, EA WAY, BTM
30" X 30" X 10"		(3)#4, EA WAY, BTM
36" X 36" X 12"		(4)#4, EA WAY, BTM
42" X 42" X 12"		(5)#4, EA WAY, BTM
48" X 48" X 12"		(6)#4, EA WAY, BTM



LAP SPLICE AND STANDARD HOOK LENGTH FOR CORNER BARS		
BAR SIZE PER WALL	LAP SPLICE LENGTH	STD HOOK LENGTH
#4	2'-6"	0'-8"
#5	3'-0"	0'-10"
#6	3'-8"	1'-0"
#8	5'-0"	1'-3"

IF INTERSECTING WALLS HAVE DIFFERENT SIZE OF HORIZONTAL REINFORCEMENT, CORNER BARS MATCHING LARGER REINFORCEMENT SIZE AND SPACING TO BE USED

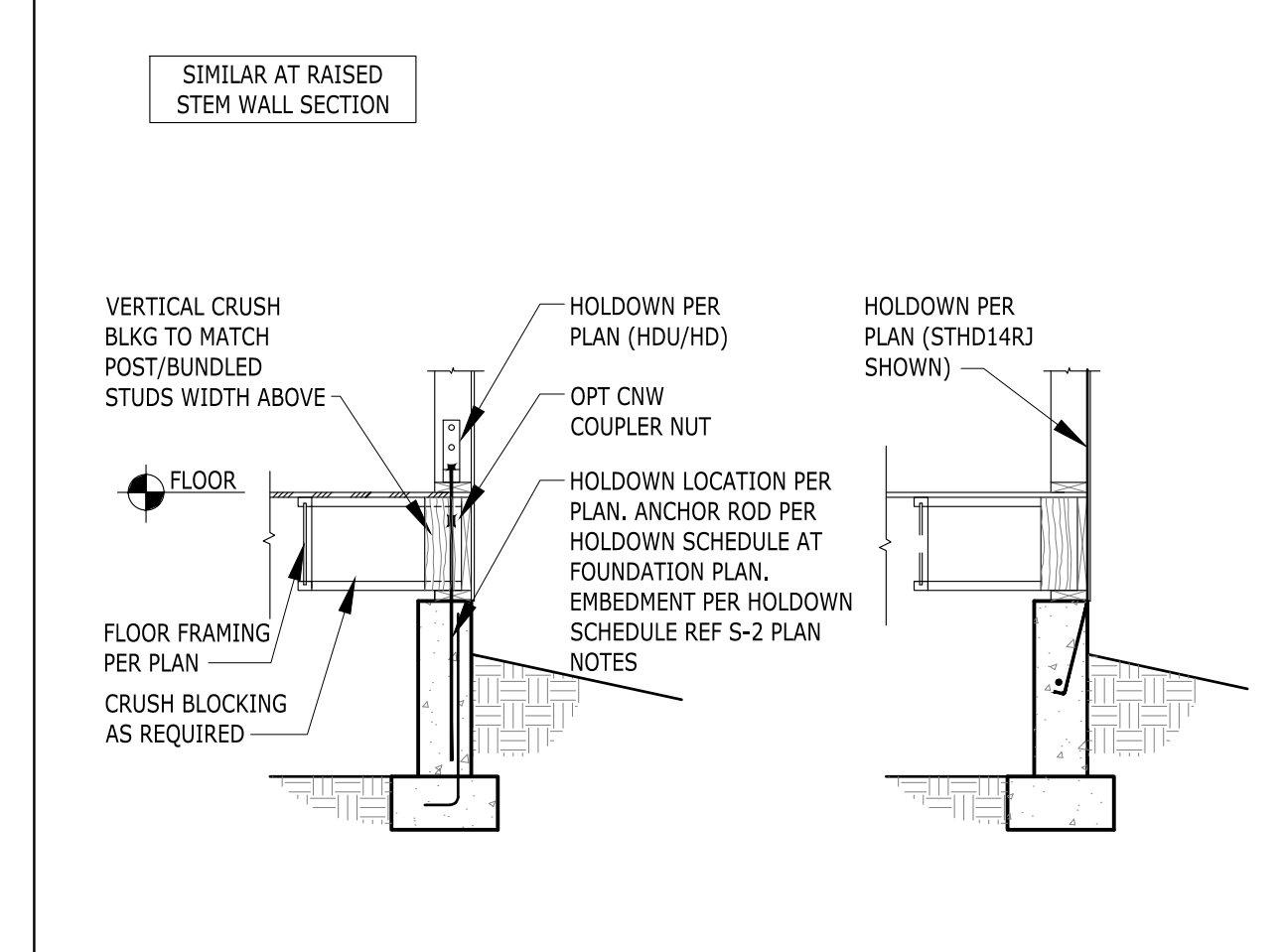
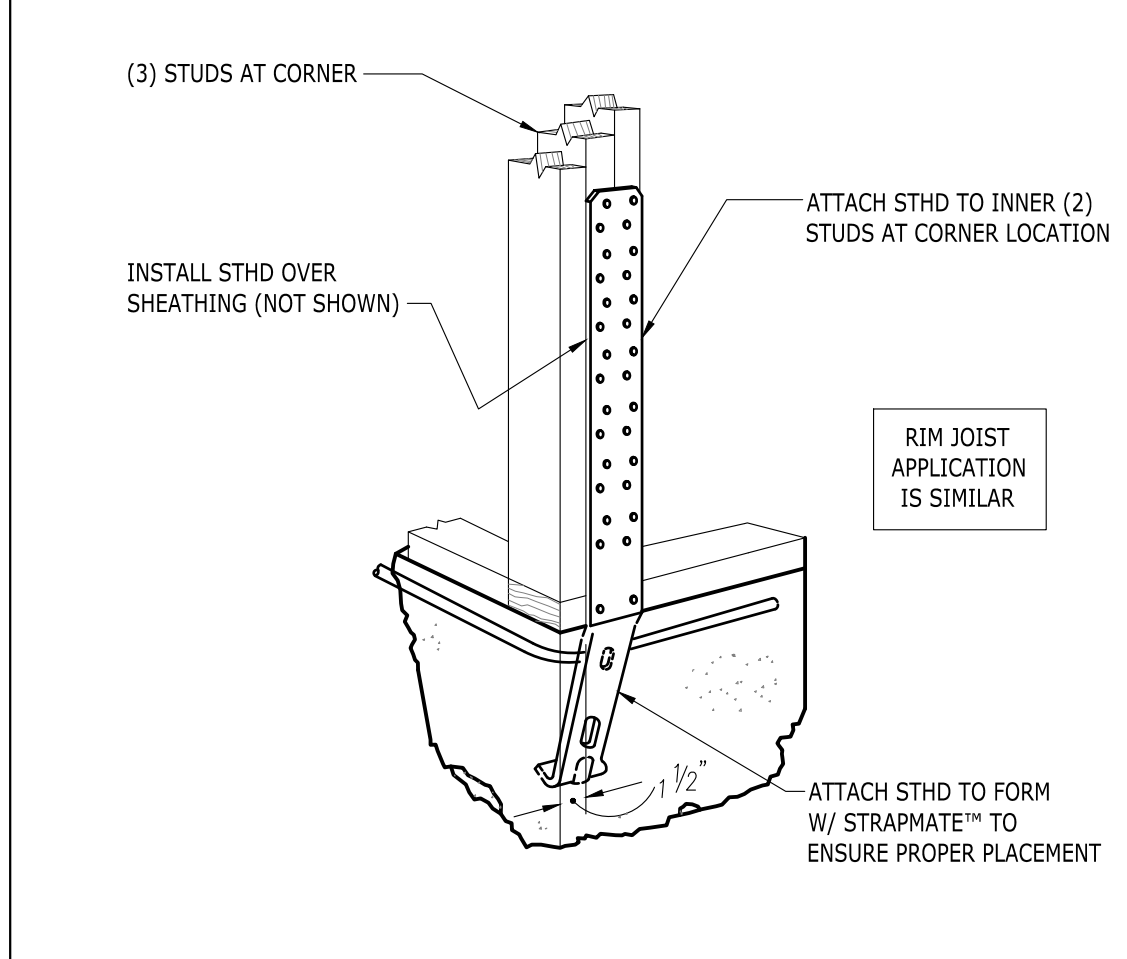
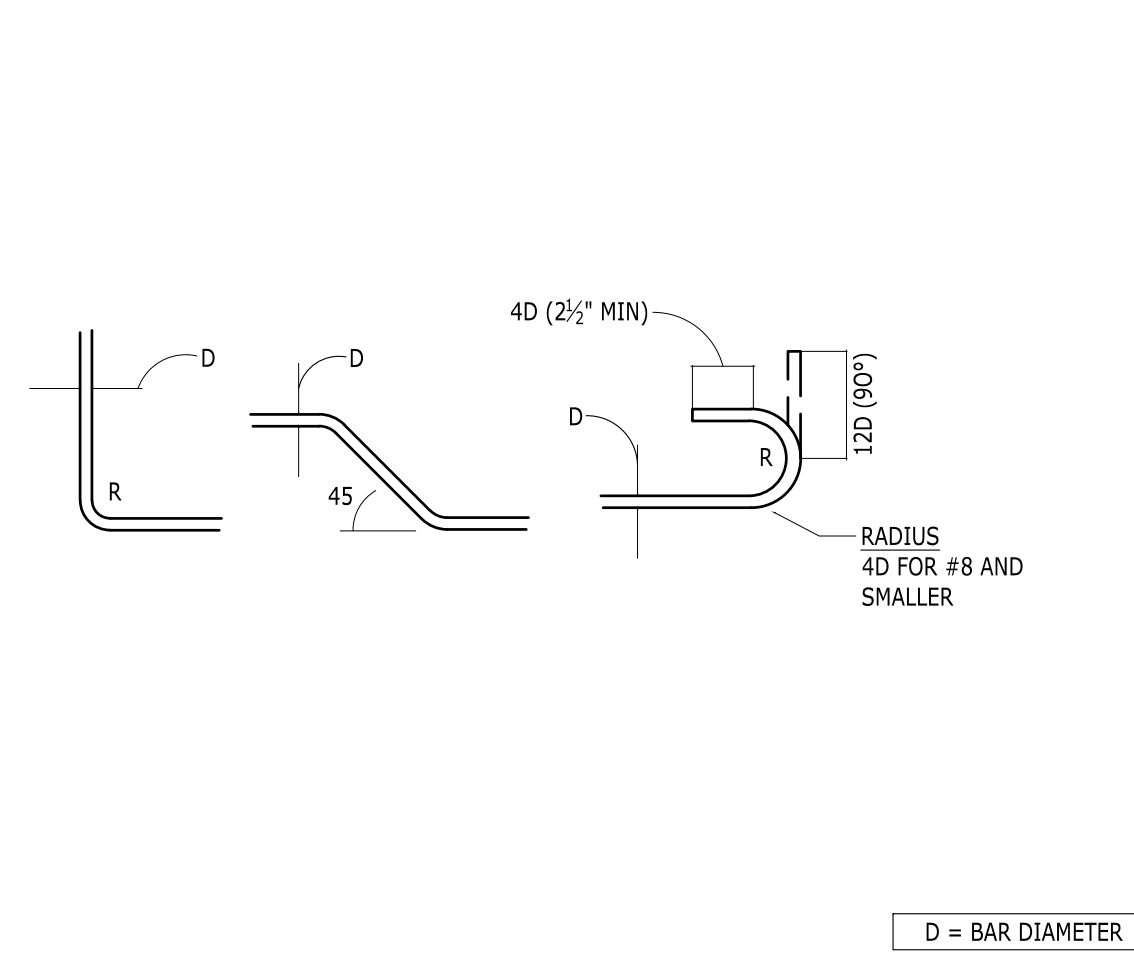
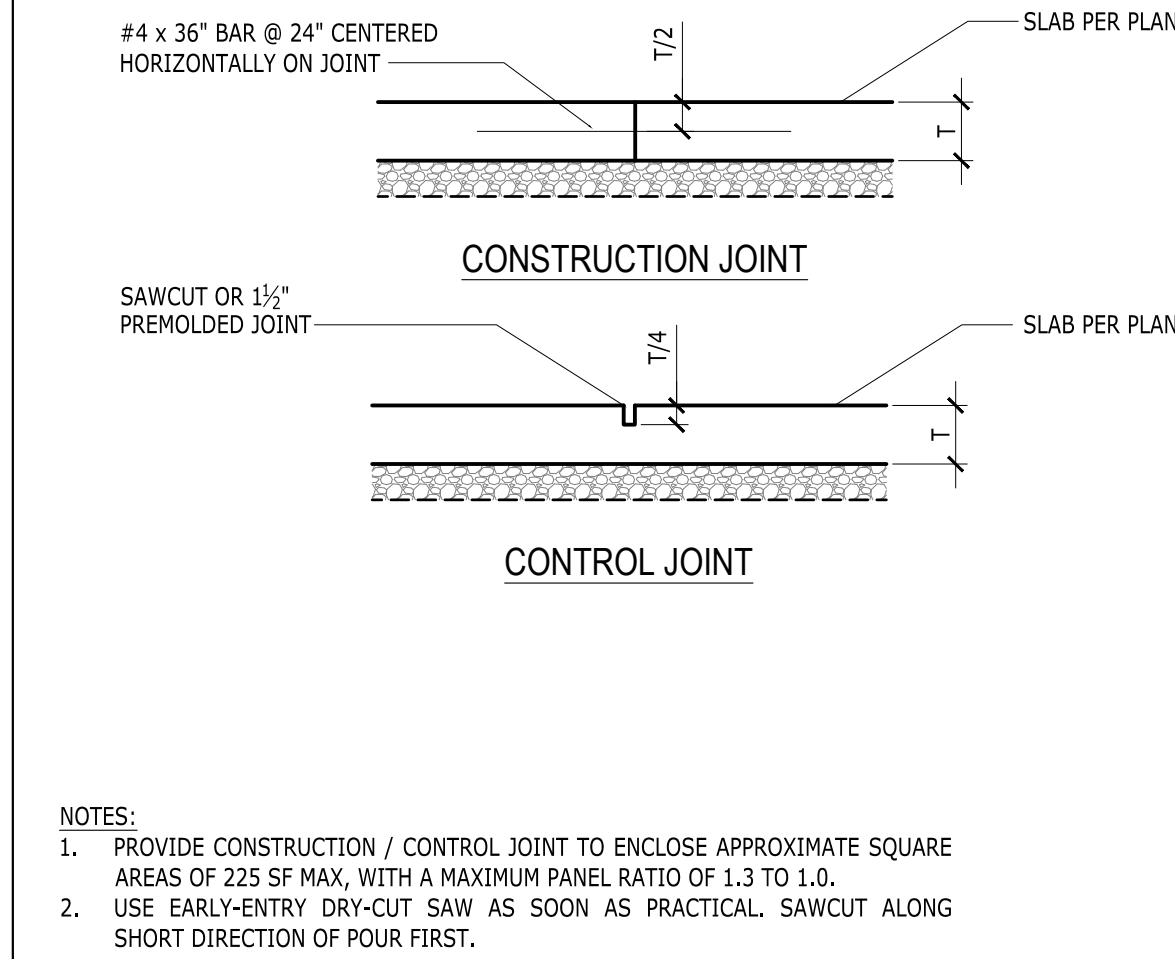
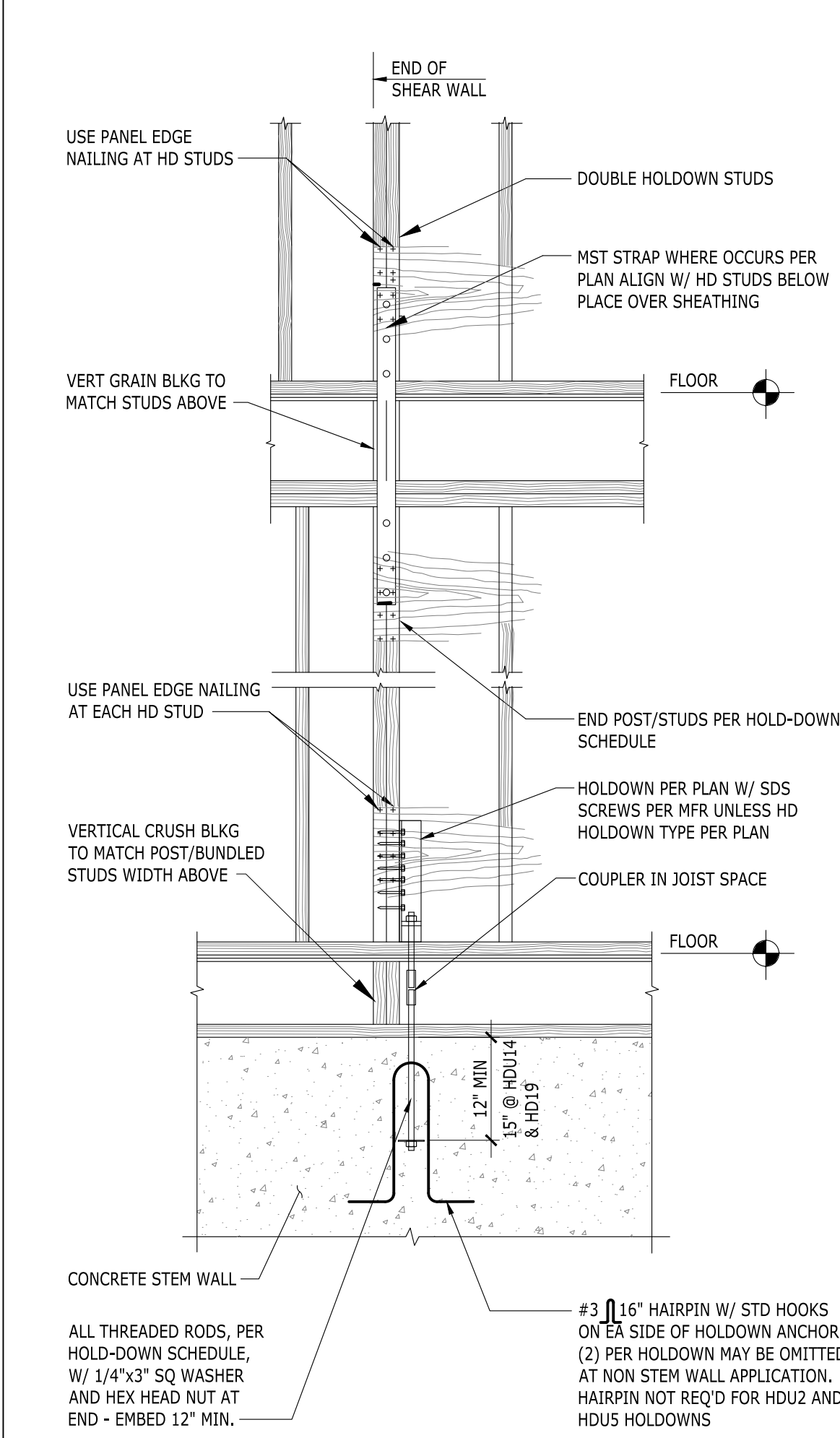


1 STEM WALL AT EXTERIOR

2 ISOLATED INTERIOR FOOTING

4 STEP AT WALL FOOTING

5 CORNER BARS AT CONCRETE WALLS

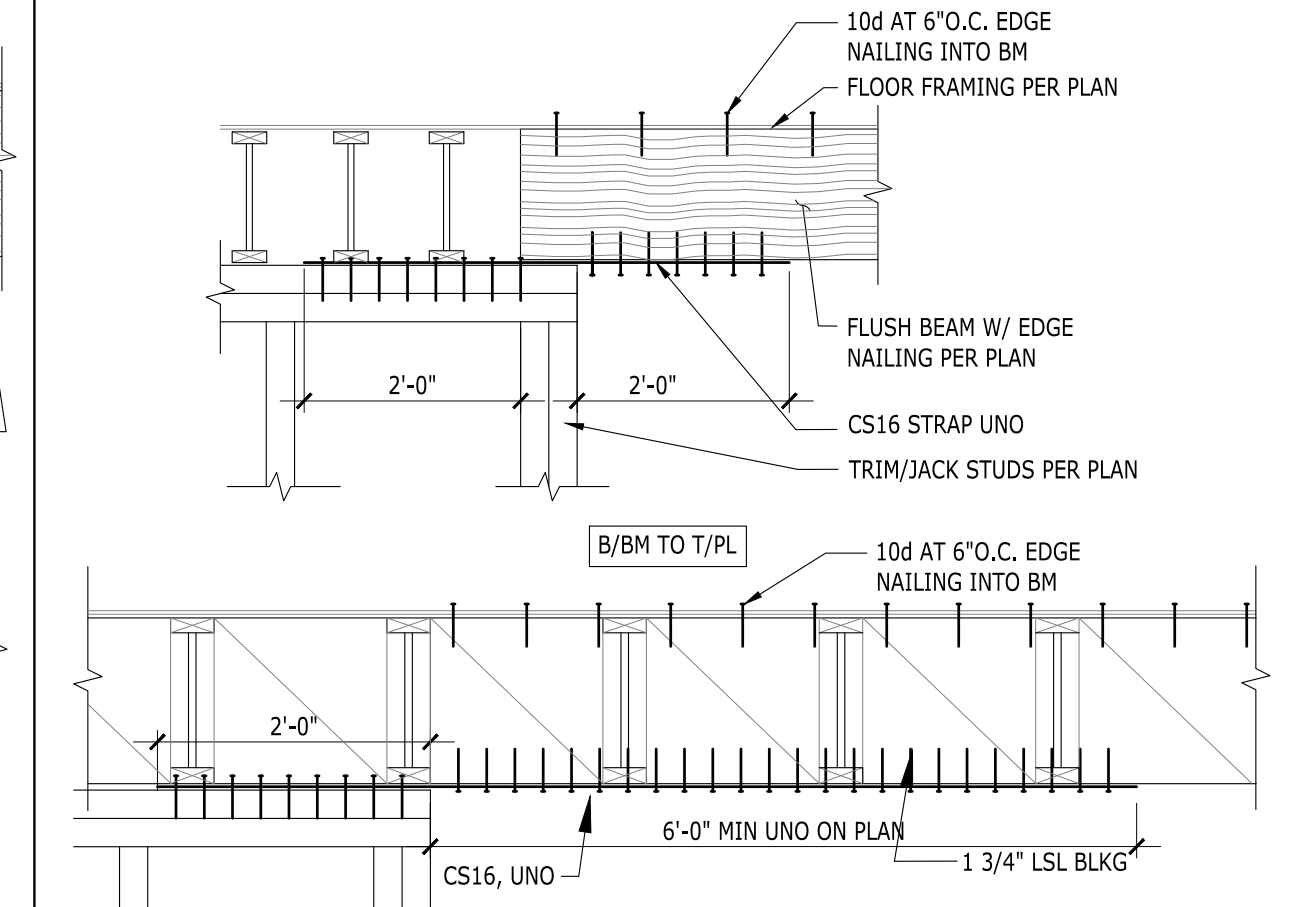
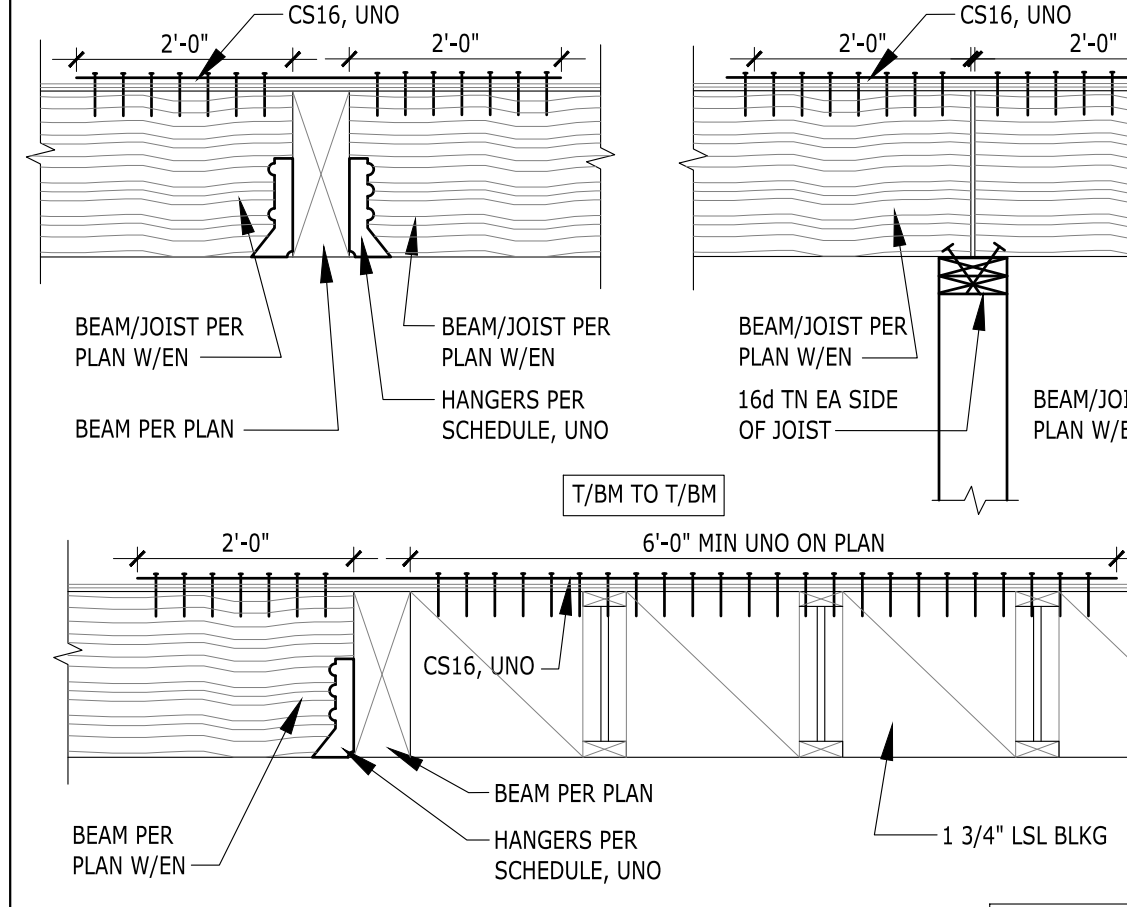
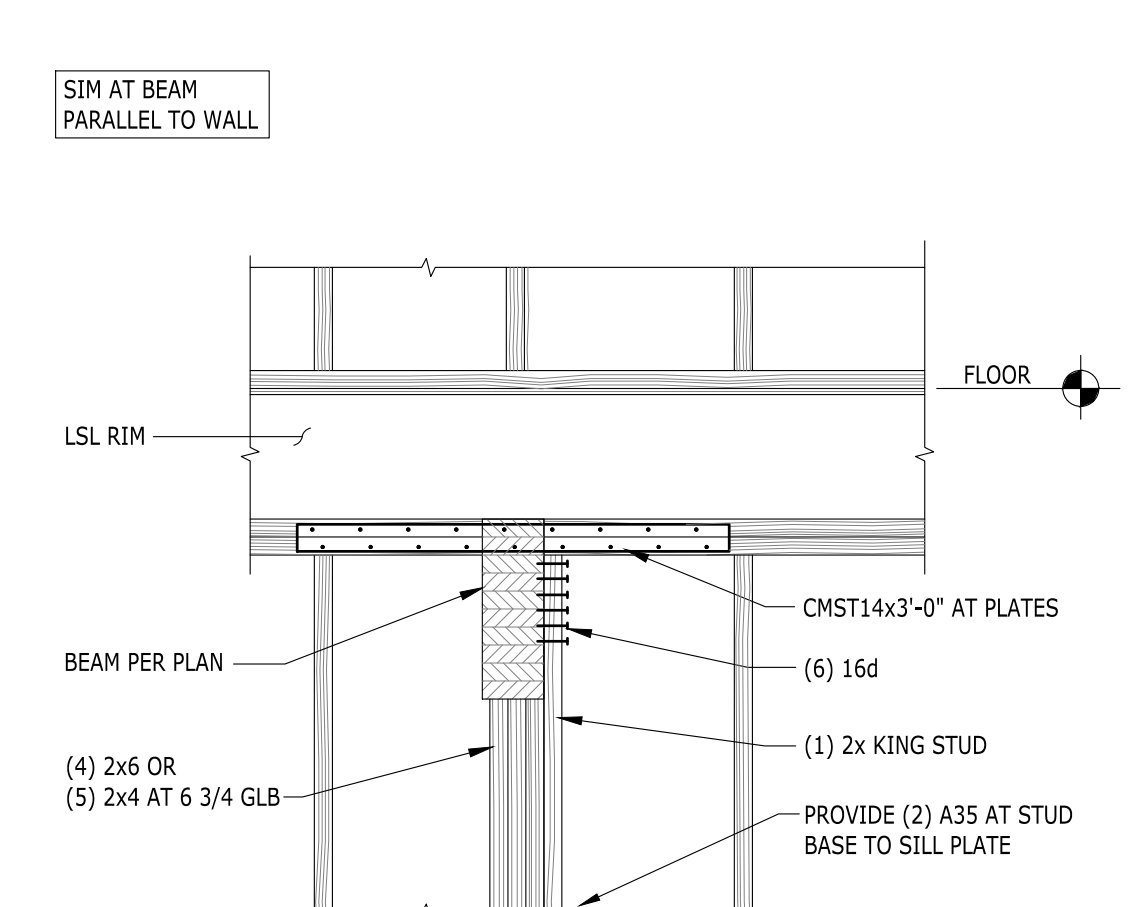
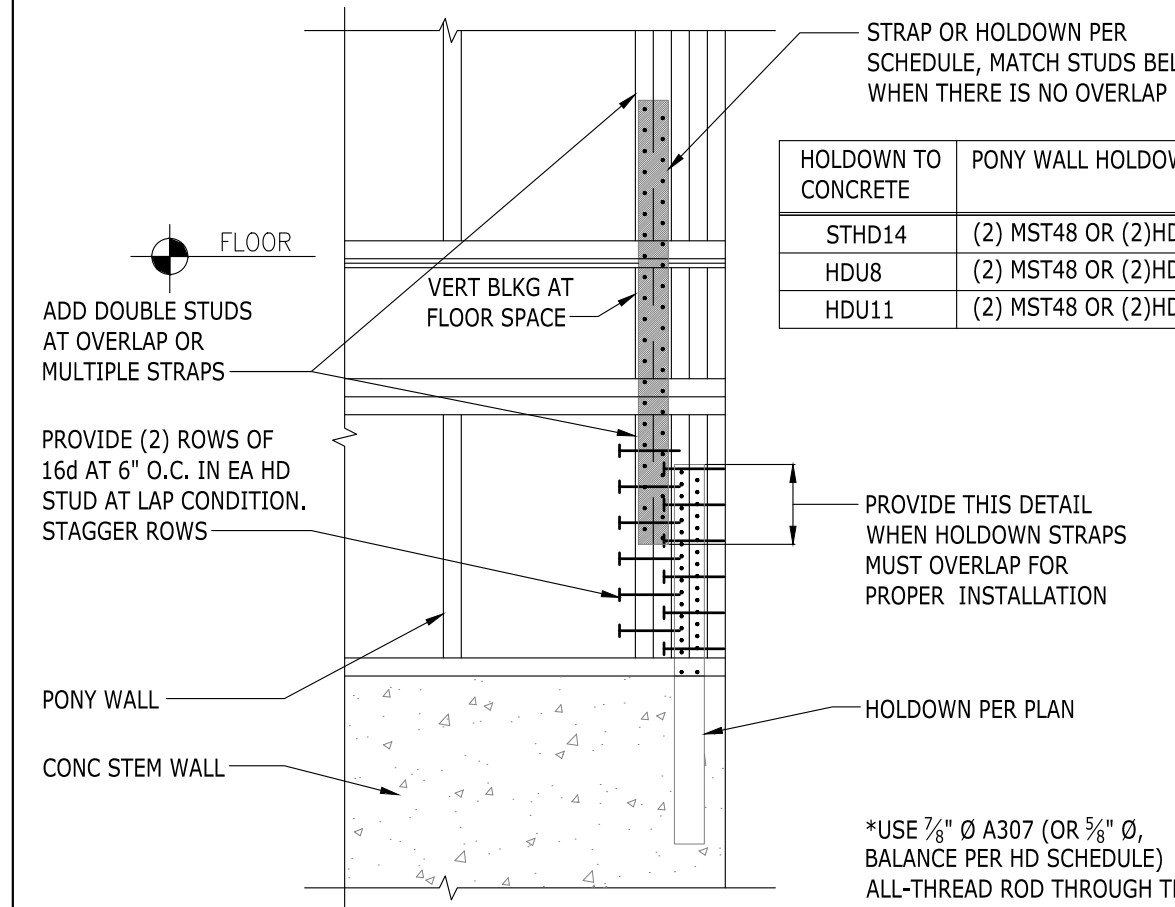


7 CONSTRUCTION/CONTROL JOINT DETAILS

8 BAR BEND AND HOOK DETAILS

9 STDH HOLD-DOWN INSTALLATION

10 FOUNDATION SECTION AT HOLD-DOWN



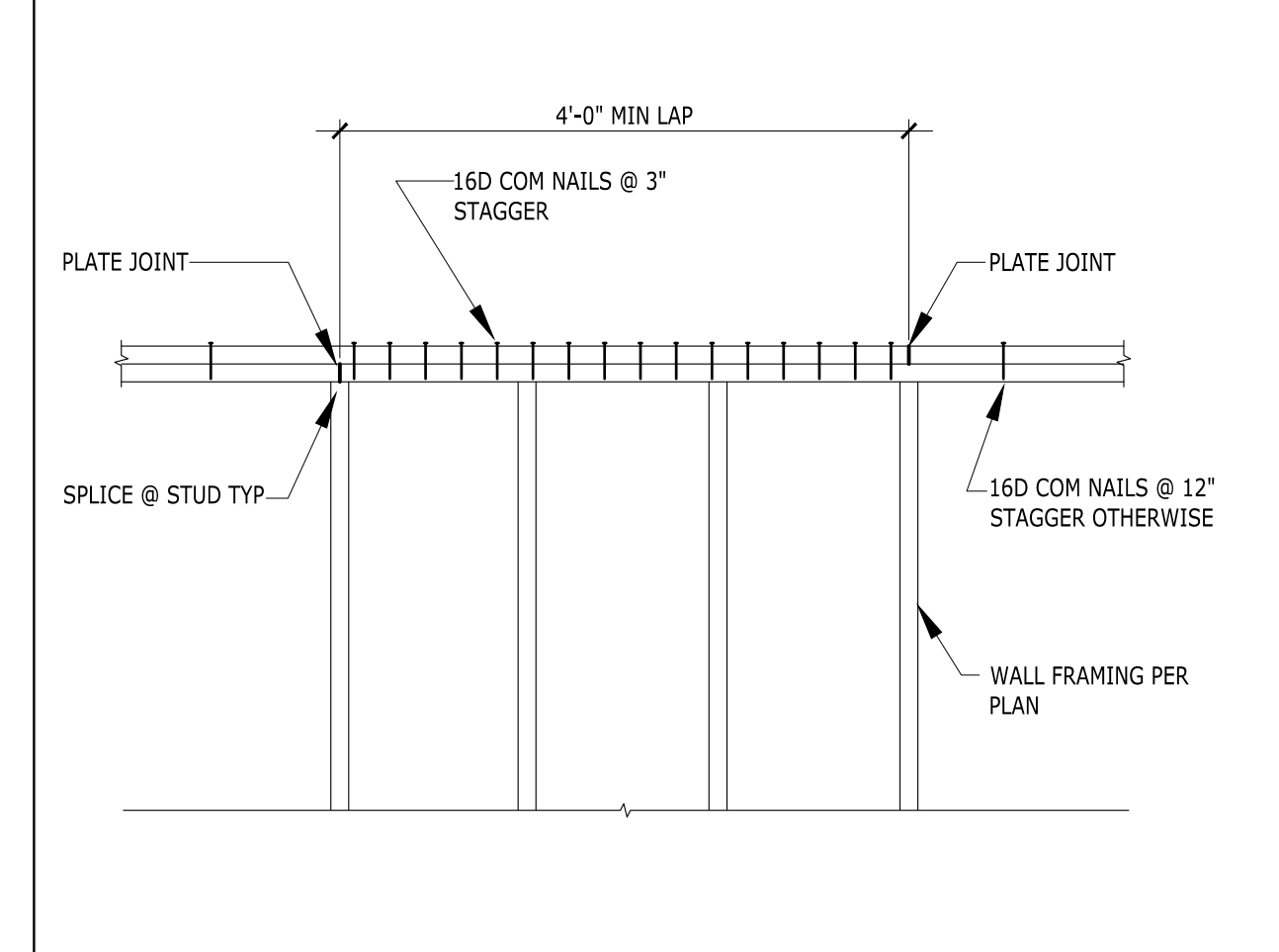
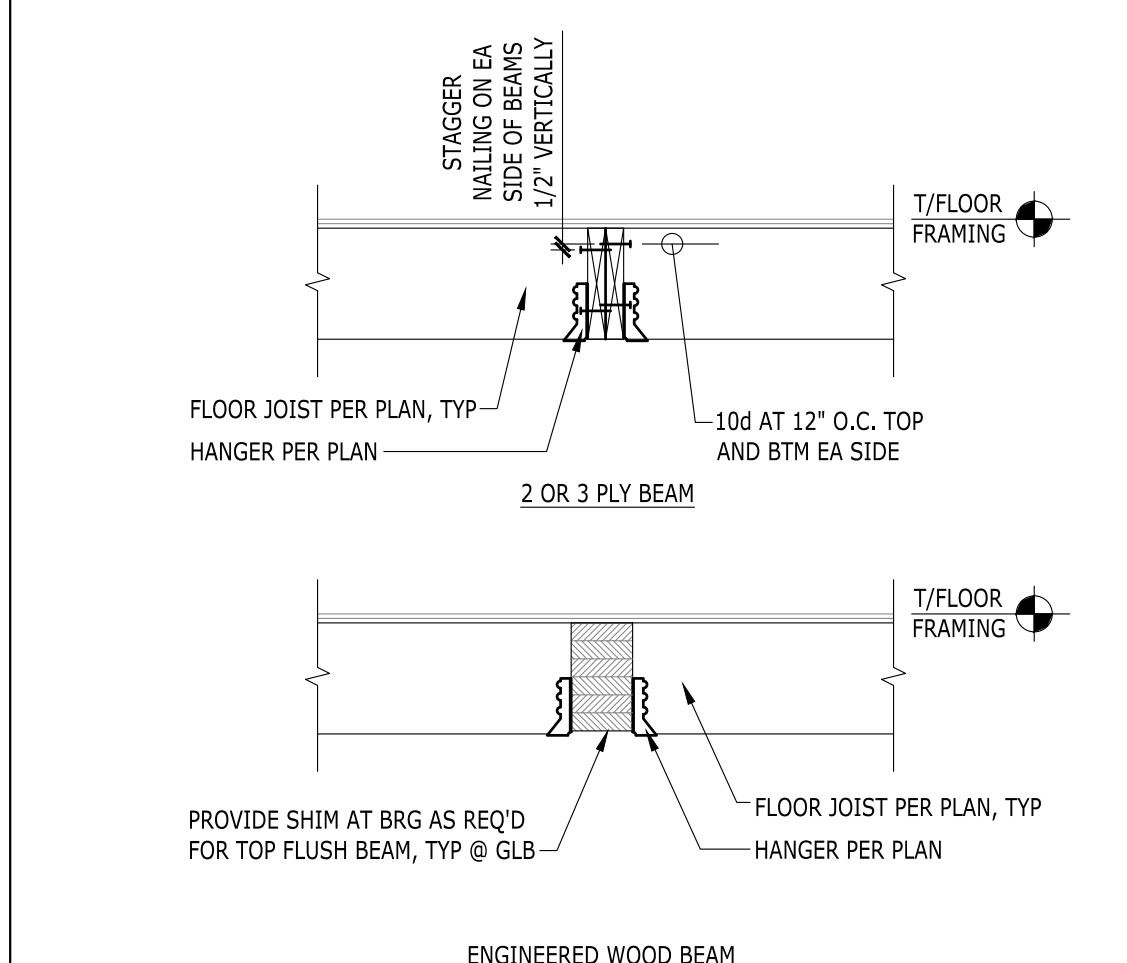
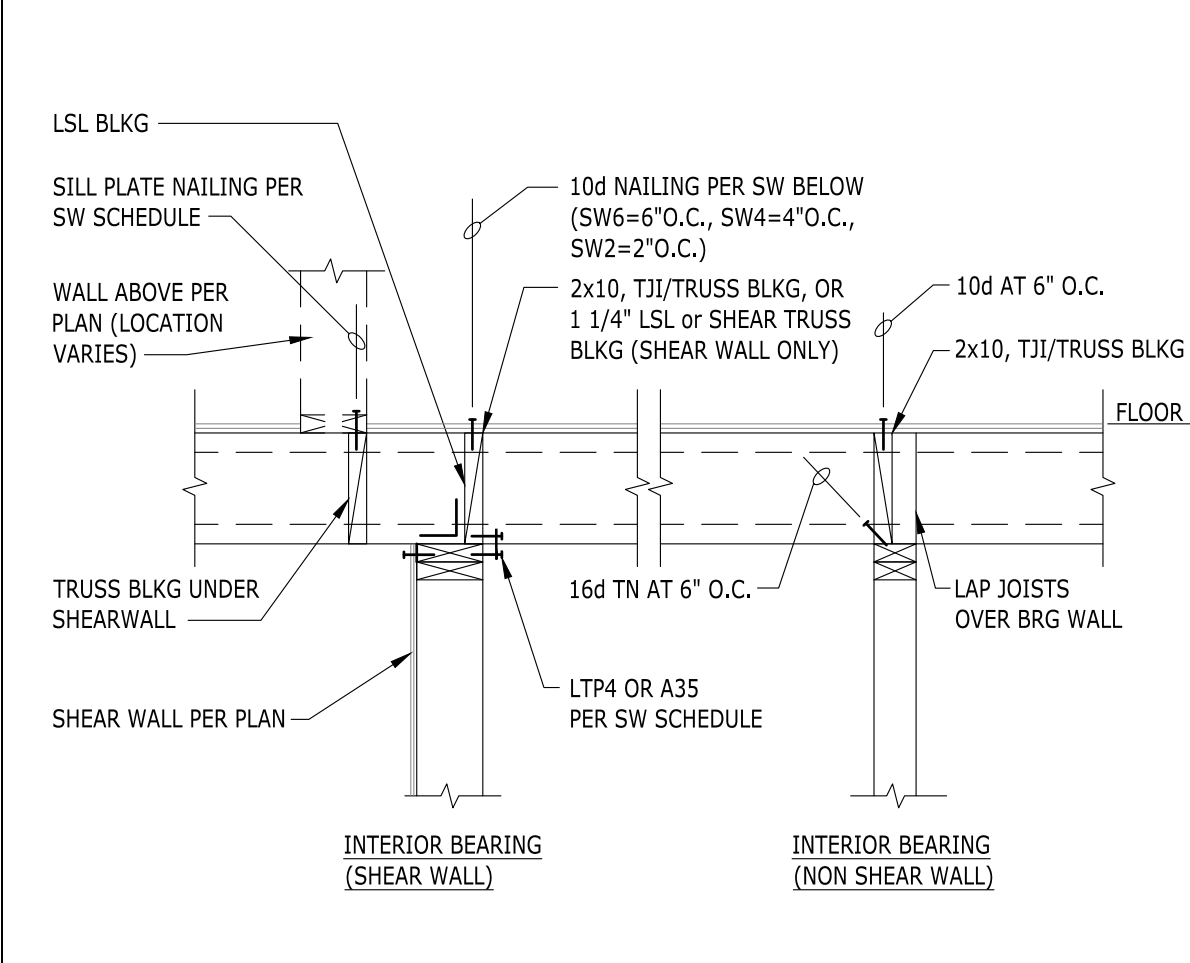
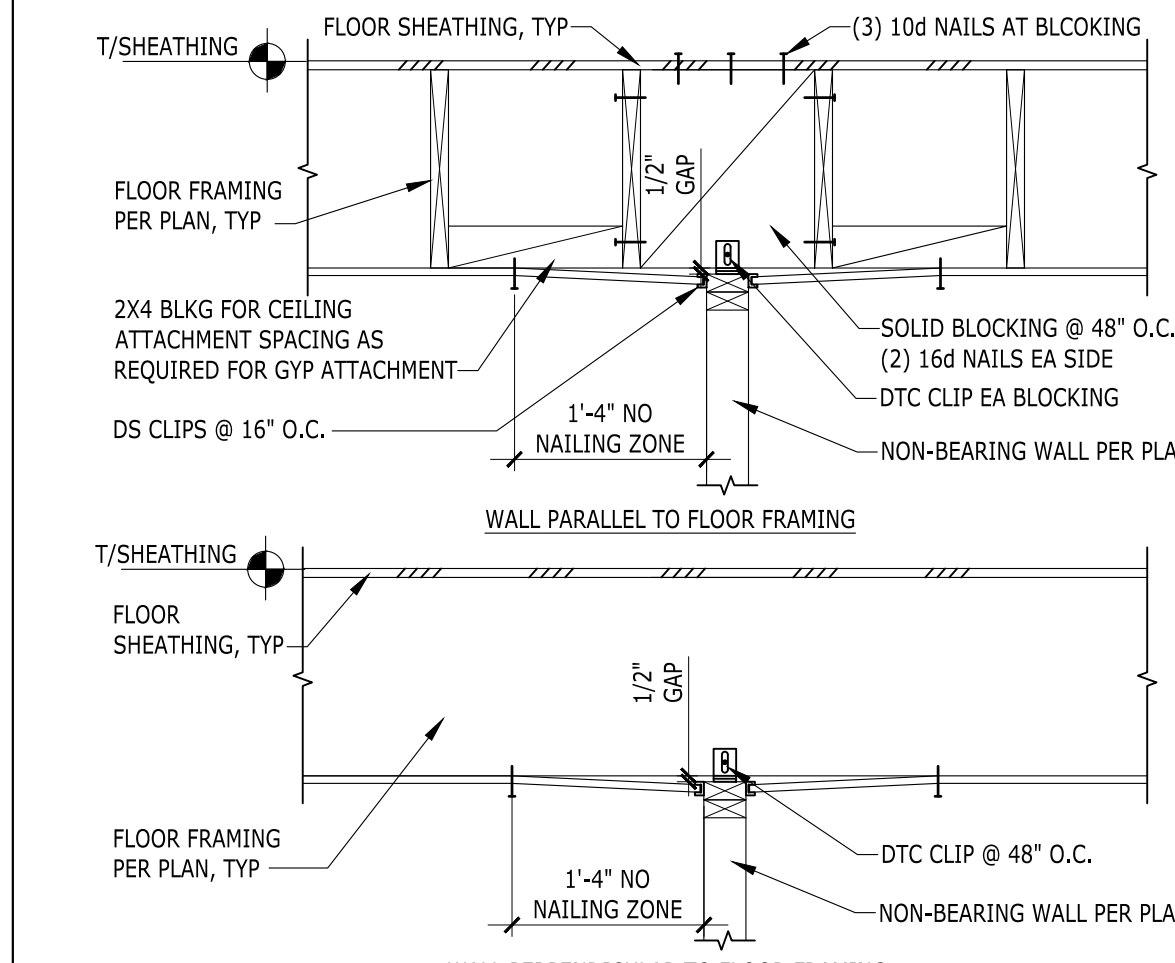
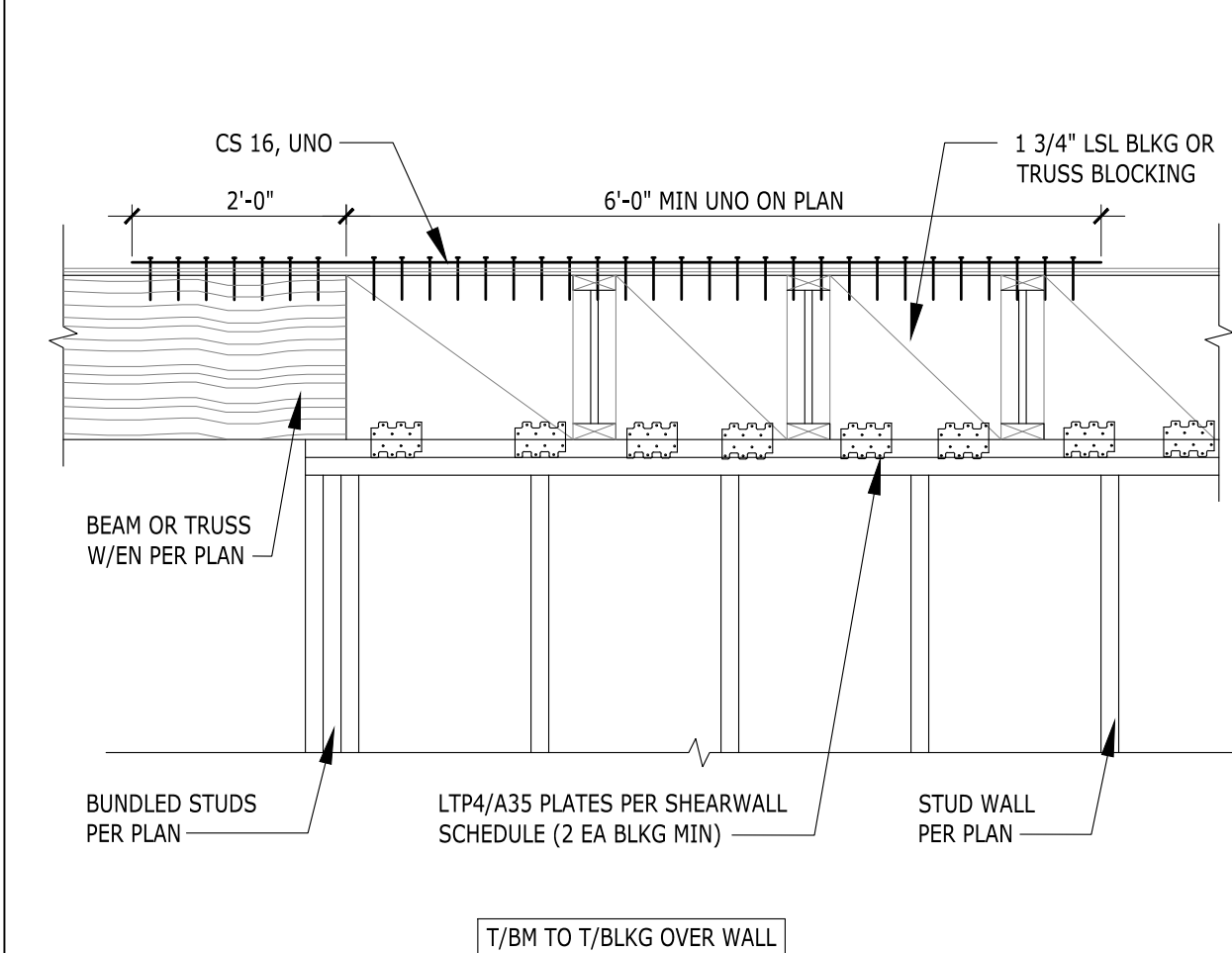
11 HOLD-DOWN DETAIL

12 OVERLAP STRAP AT PONY WALL

13 BEAM AT DISCONTINUOUS TOP PLATES

14 TENSION TIE AT FLOOR FRAMING

15 TENSION TIE AT FLOOR FRAMING



16 TENSION TIE T/BM TO T/BLKG

17 CEILING FRAMING AT NON-BEARING WALL

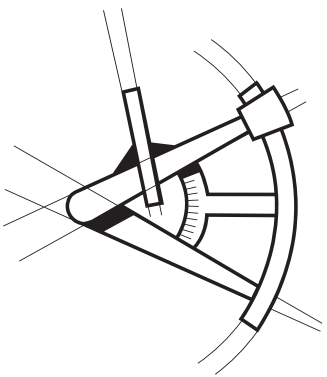
18 FLOOR FRAMING AT INTERIOR BEARING WALL

19 JOISTS TO FLUSH BEAM CONNECTION

20 ELEVATION TOP PLATE SPLICE



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REVISIONS

DESCRIPTION	DATE	BY
1 - BDC	21/03/26	AP

PROJECT NAME

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S200420

DRAWN BY - AP

CHECKED BY - MT

SHEET DATE - 03/03/2021

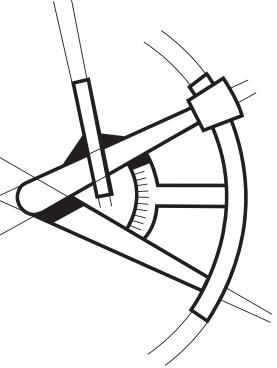
SCALE

24X36 SHEET: 1/4" = 1'-0"

DESCRIPTION

STRUCTURAL DETAILS

SHEET SD-1



REVISIONS		
DESCRIPTION	DATE	BY
1 - BDC	21/03/26	AP

PROJECT NAME
FOREST AVE LOT 4

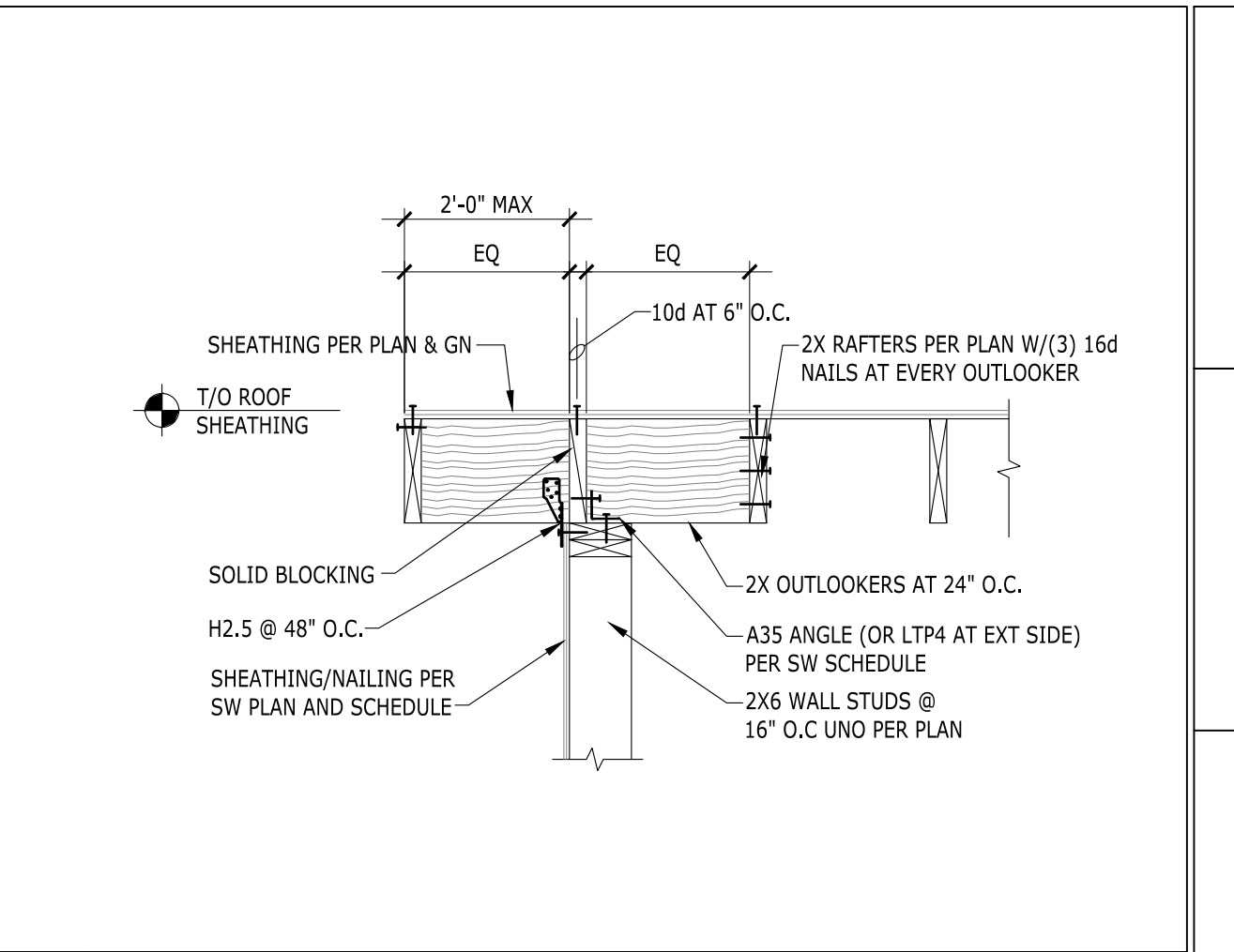
PROJECT NUMBER
S200420

DRAWN BY - **AP**

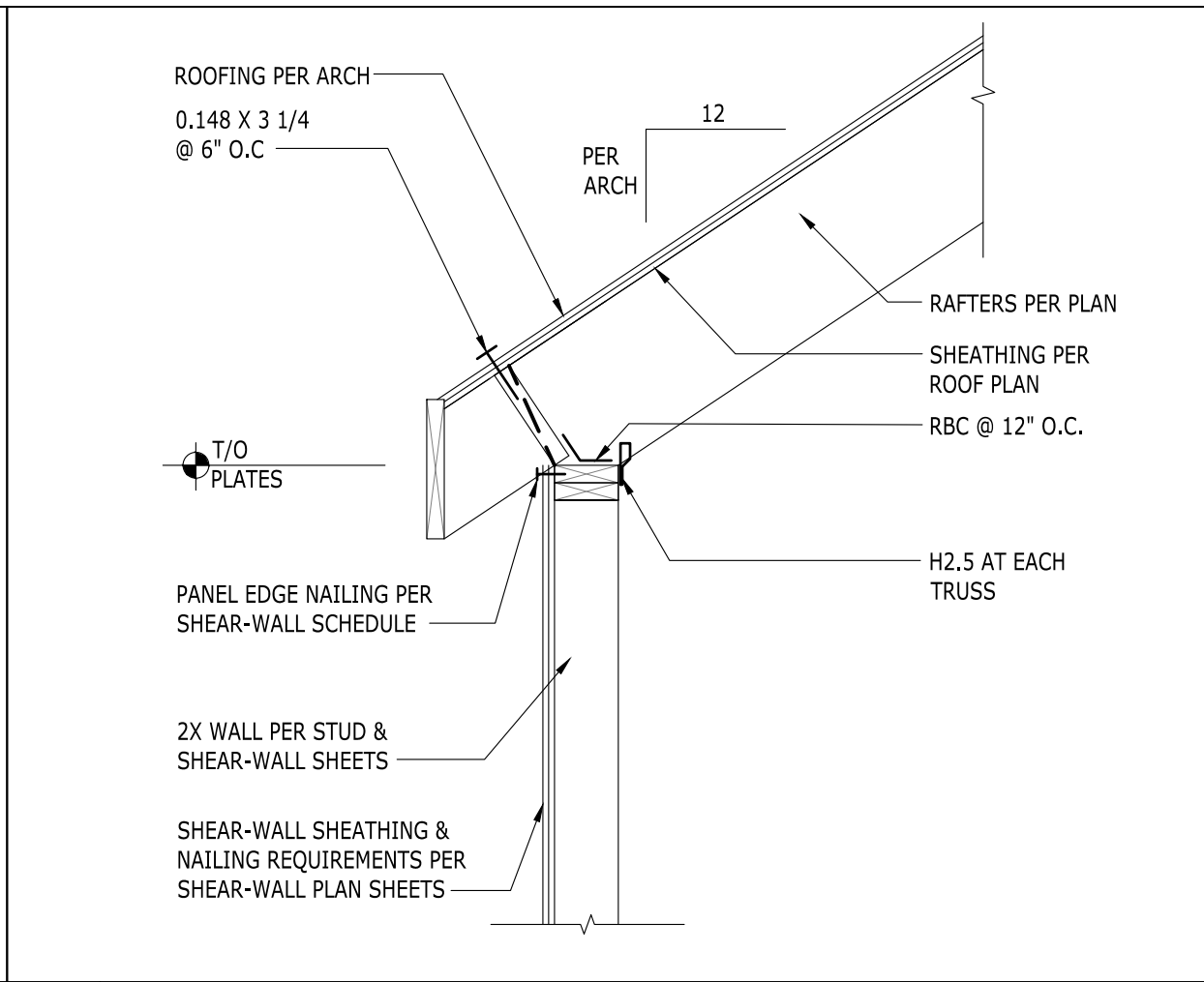
CHECKED BY - **MT**

SHEET DATE - **03/03/2021**

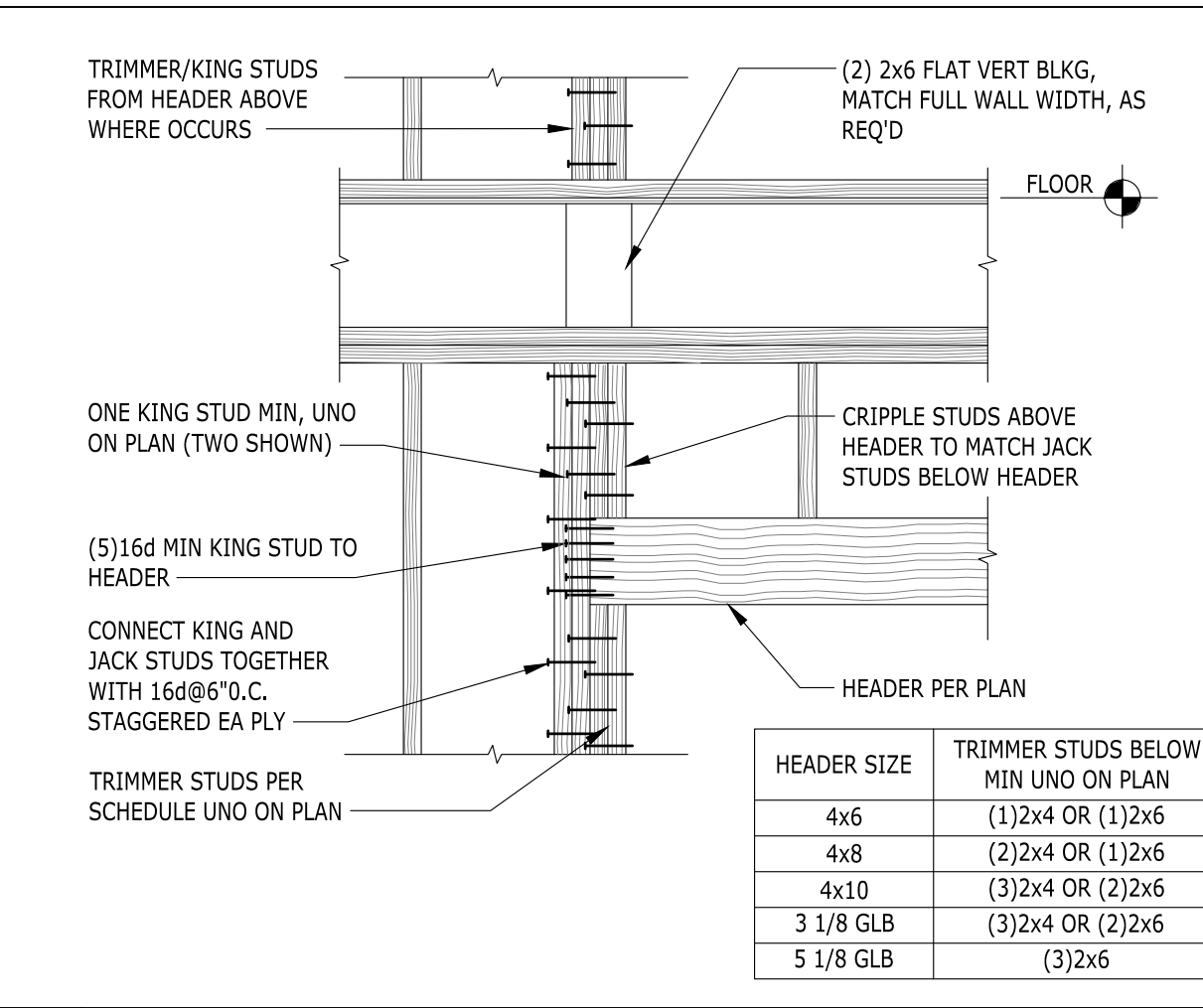
SCALE
24X36 SHEET: 1/4" = 1'-0"



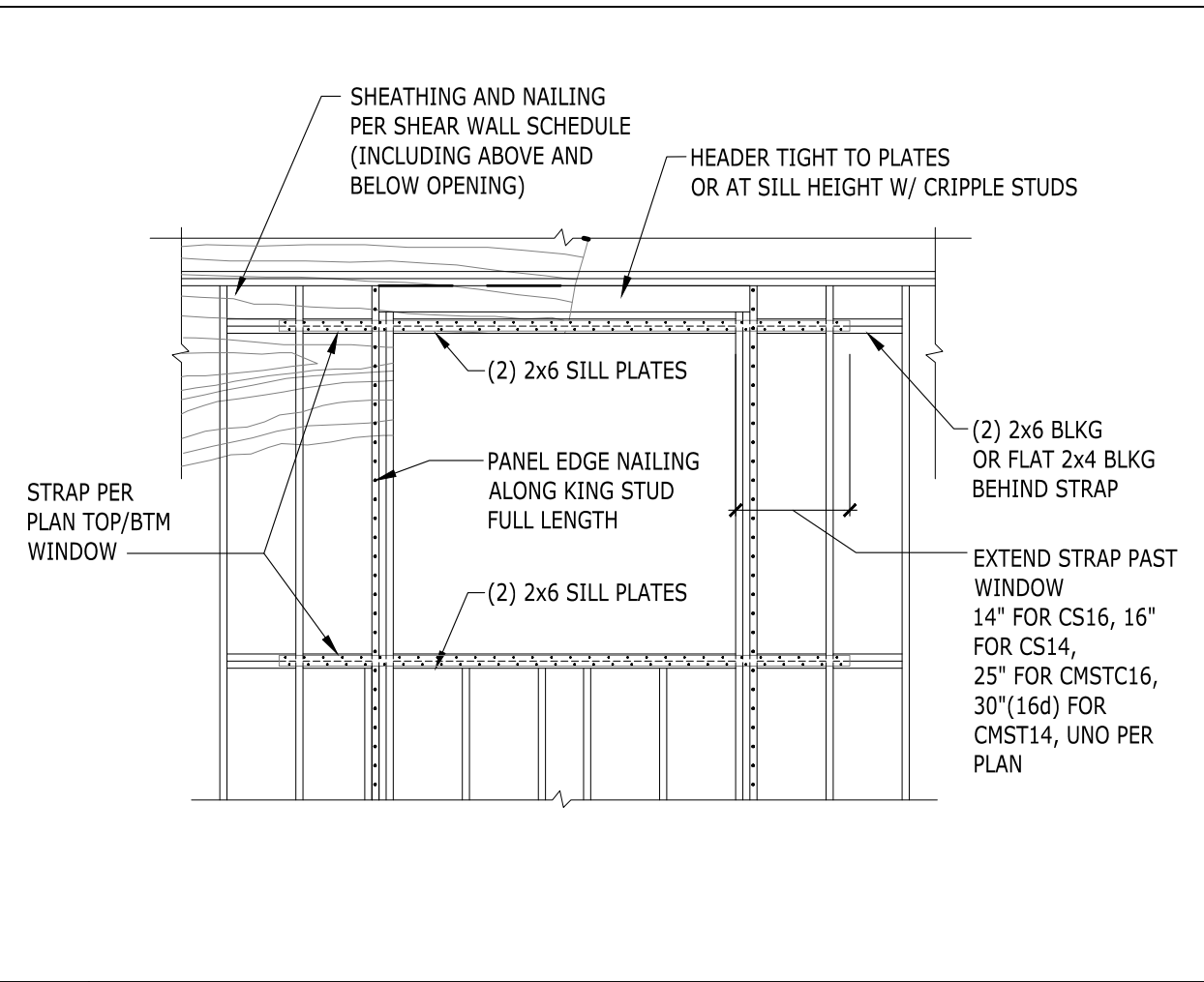
5 GABLE END FRAMING



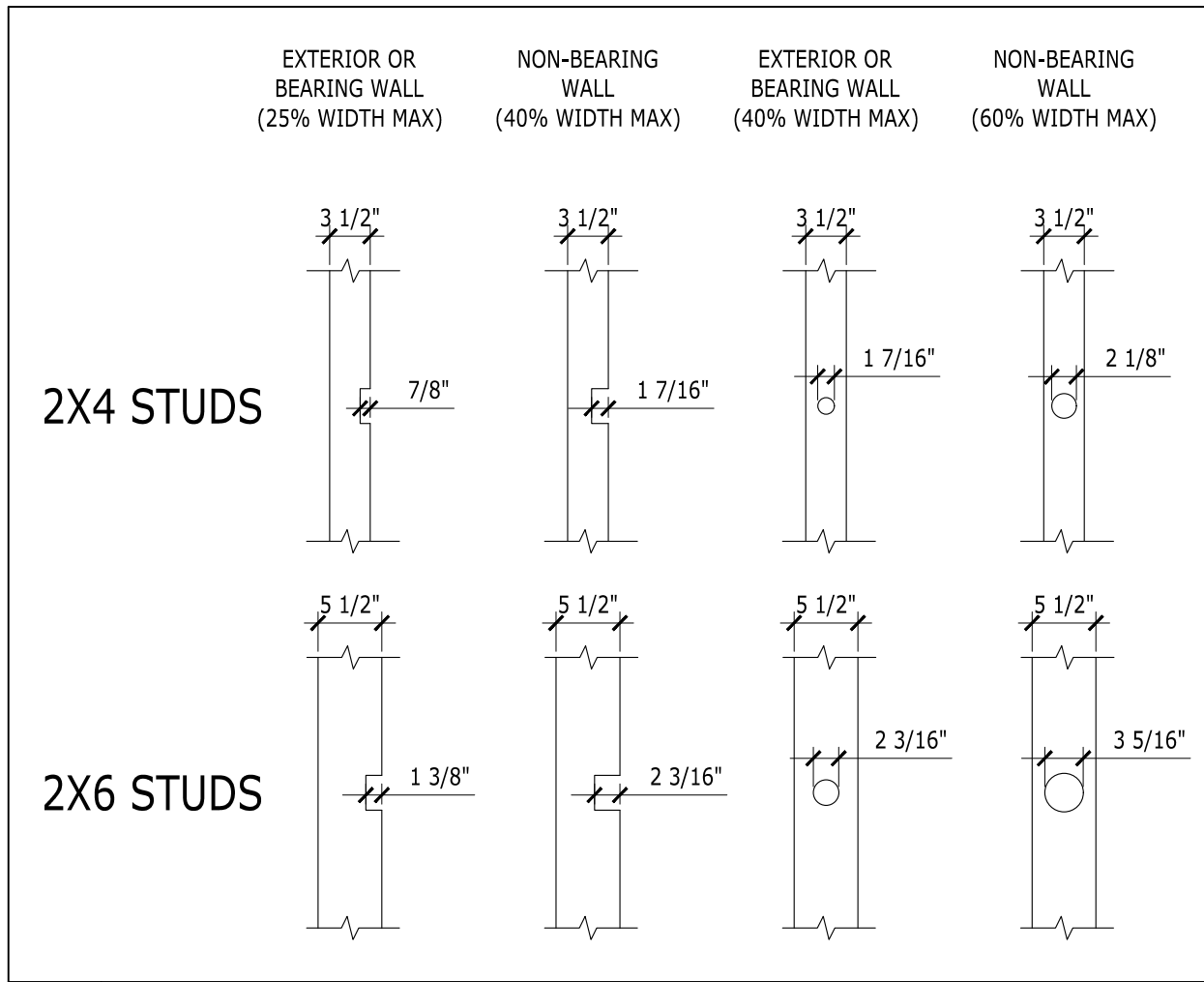
4 HIP ROOF FRAMING



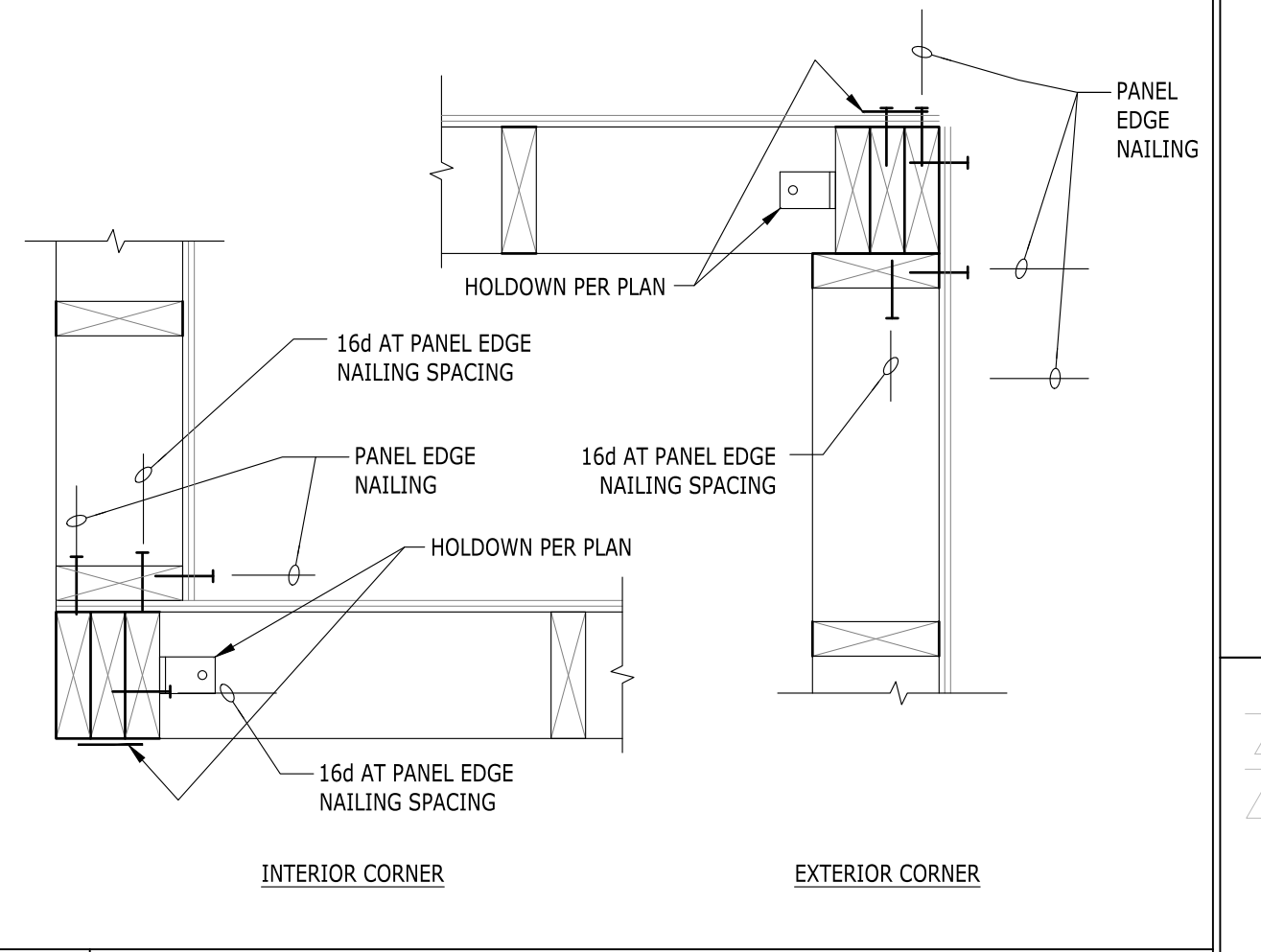
3 TYPICAL HEADER FRAMING



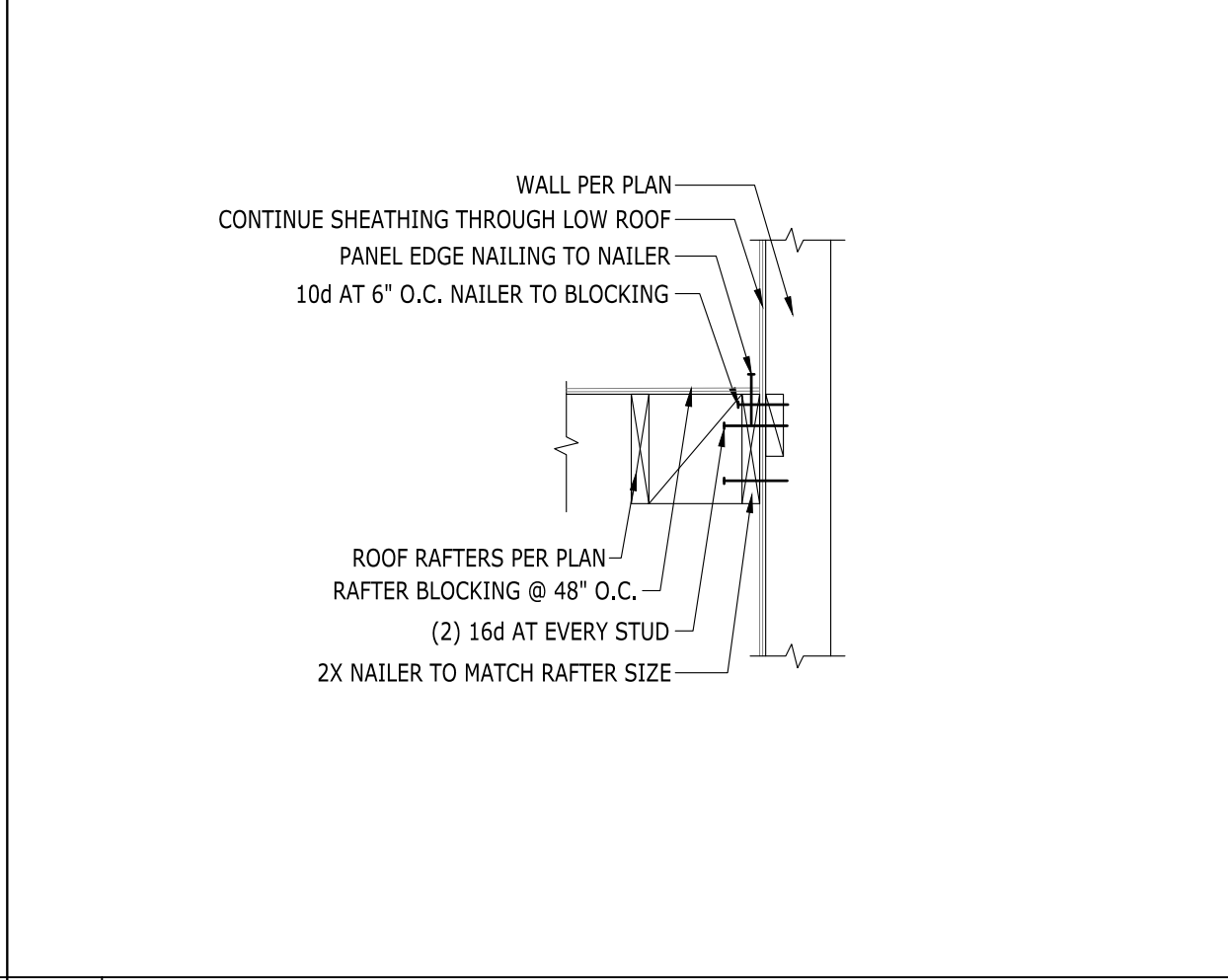
2 STRAPS AROUND WINDOWS



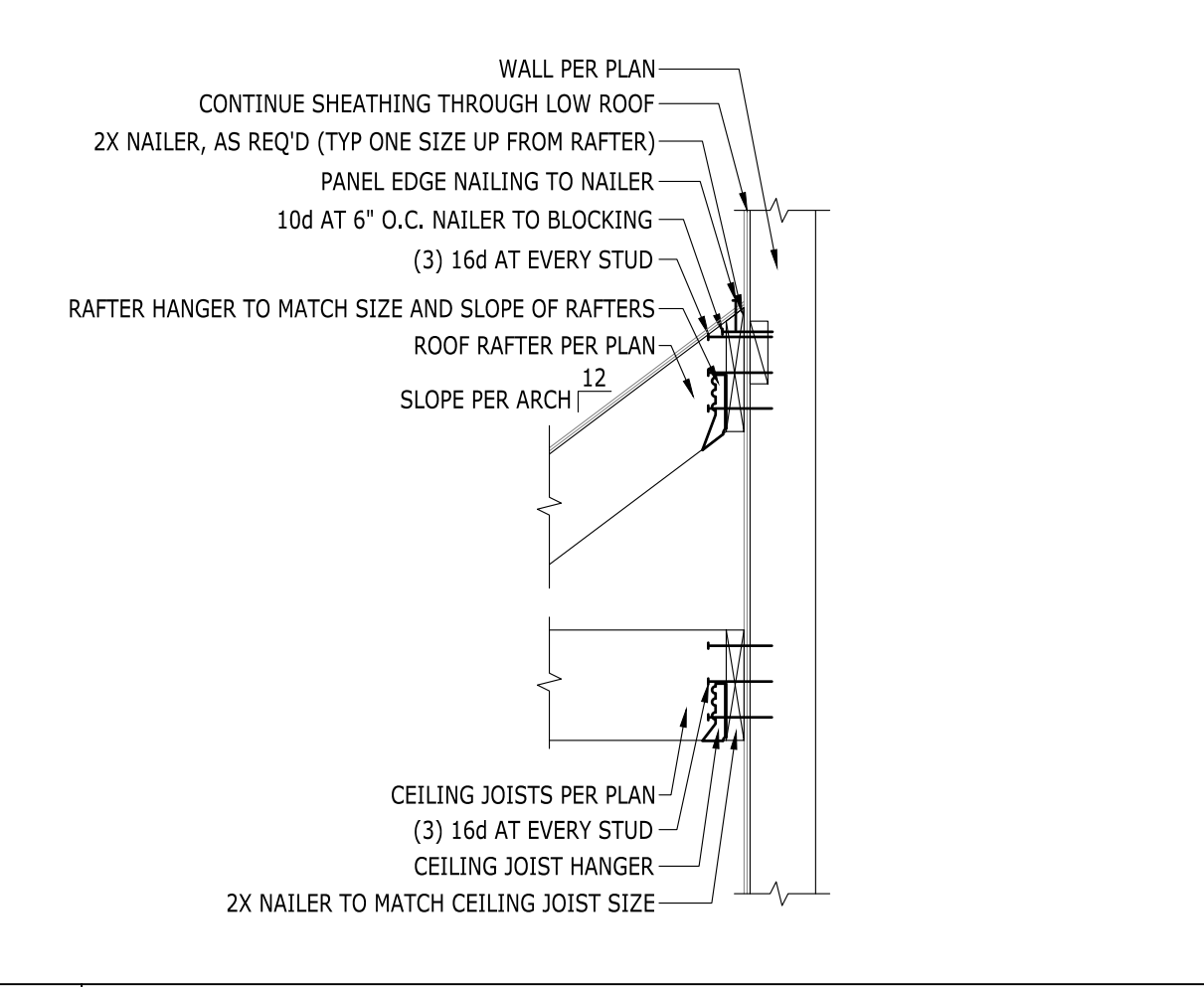
1 ALLOWABLE STUD NOTCHING AND BORING



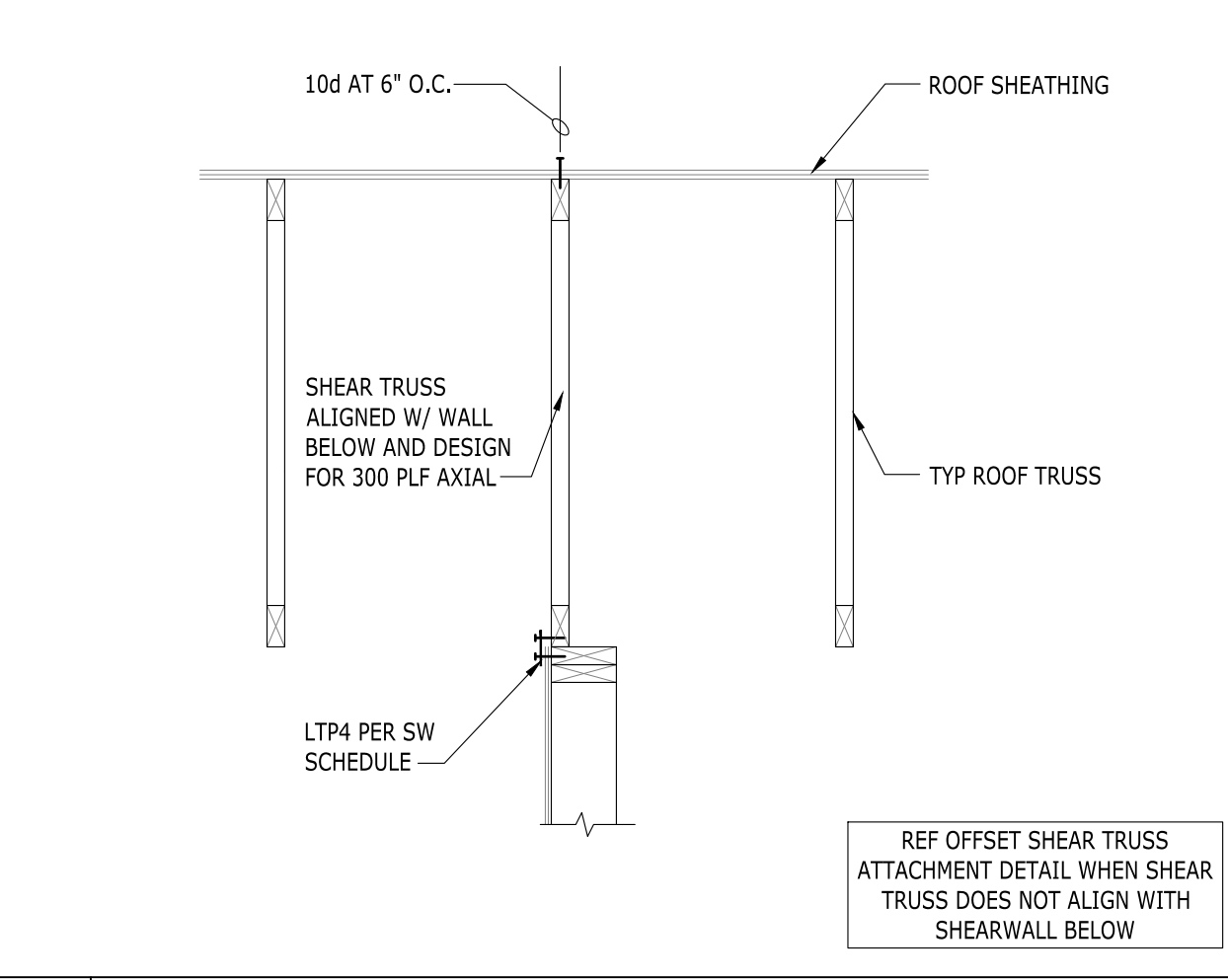
10 CORNER FRAMING



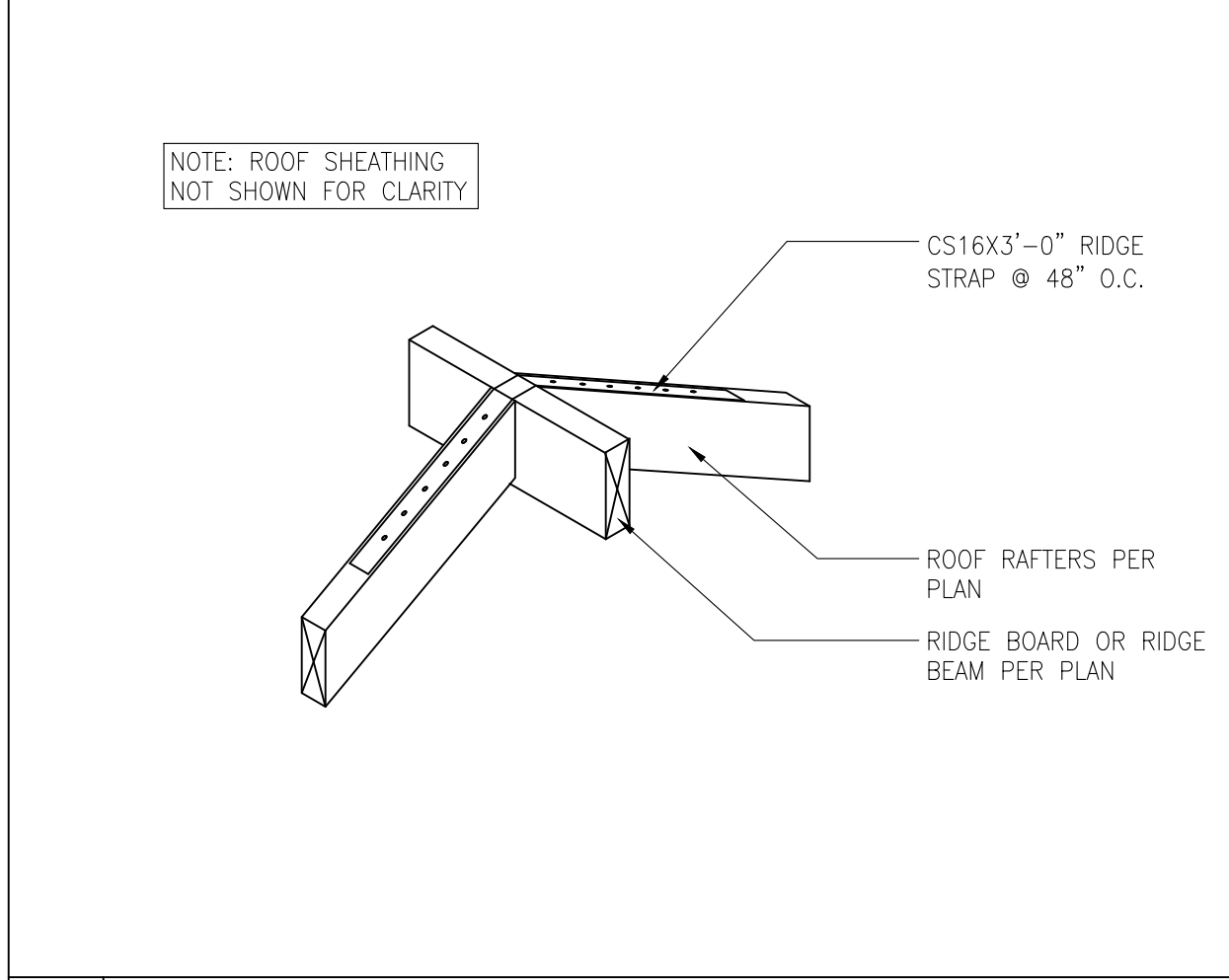
9 LOW ROOF SECTION AT CONTINUOUS WALLS



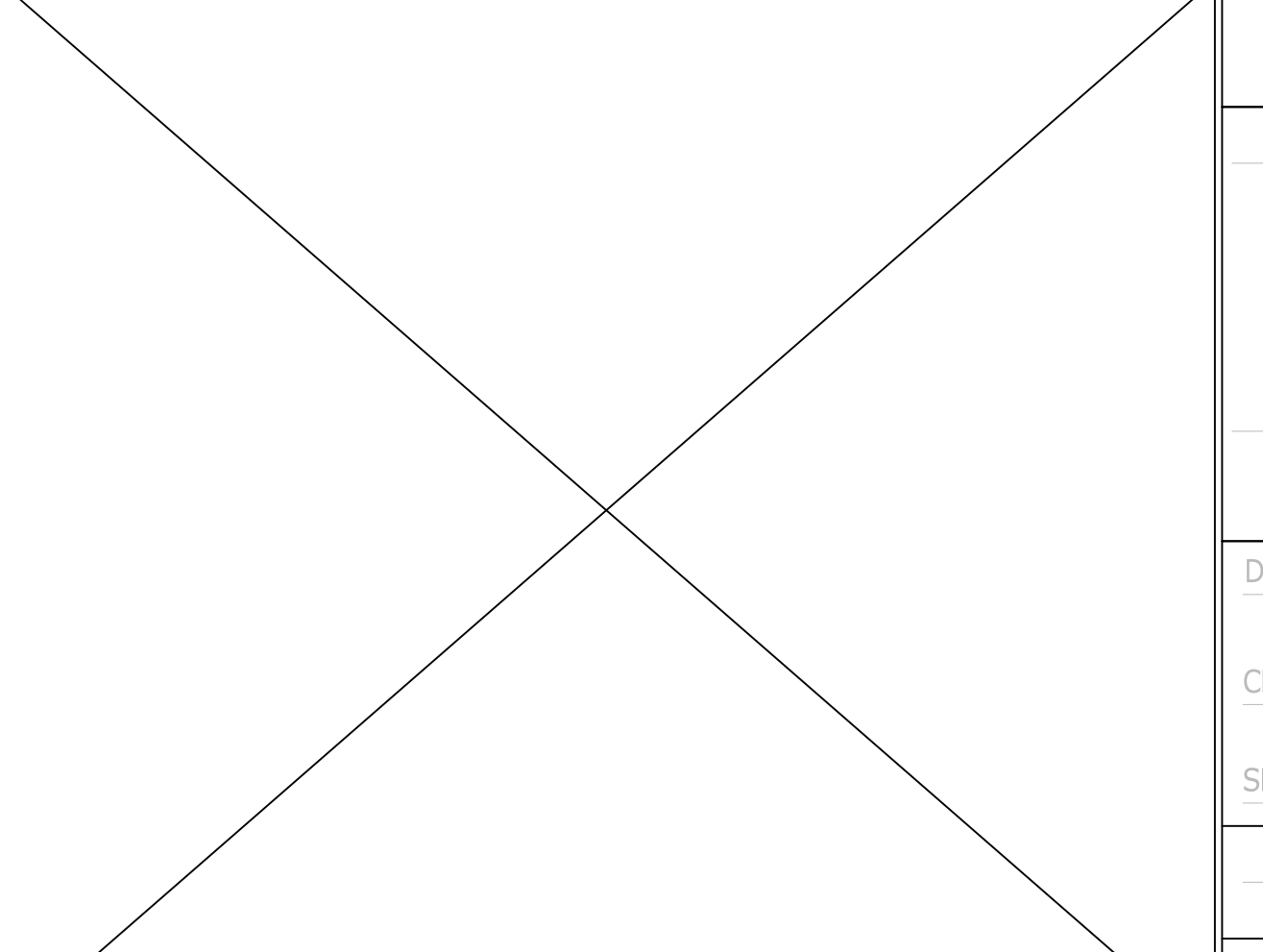
8 LOW ROOF SECTION AT CONTINUOUS WALLS



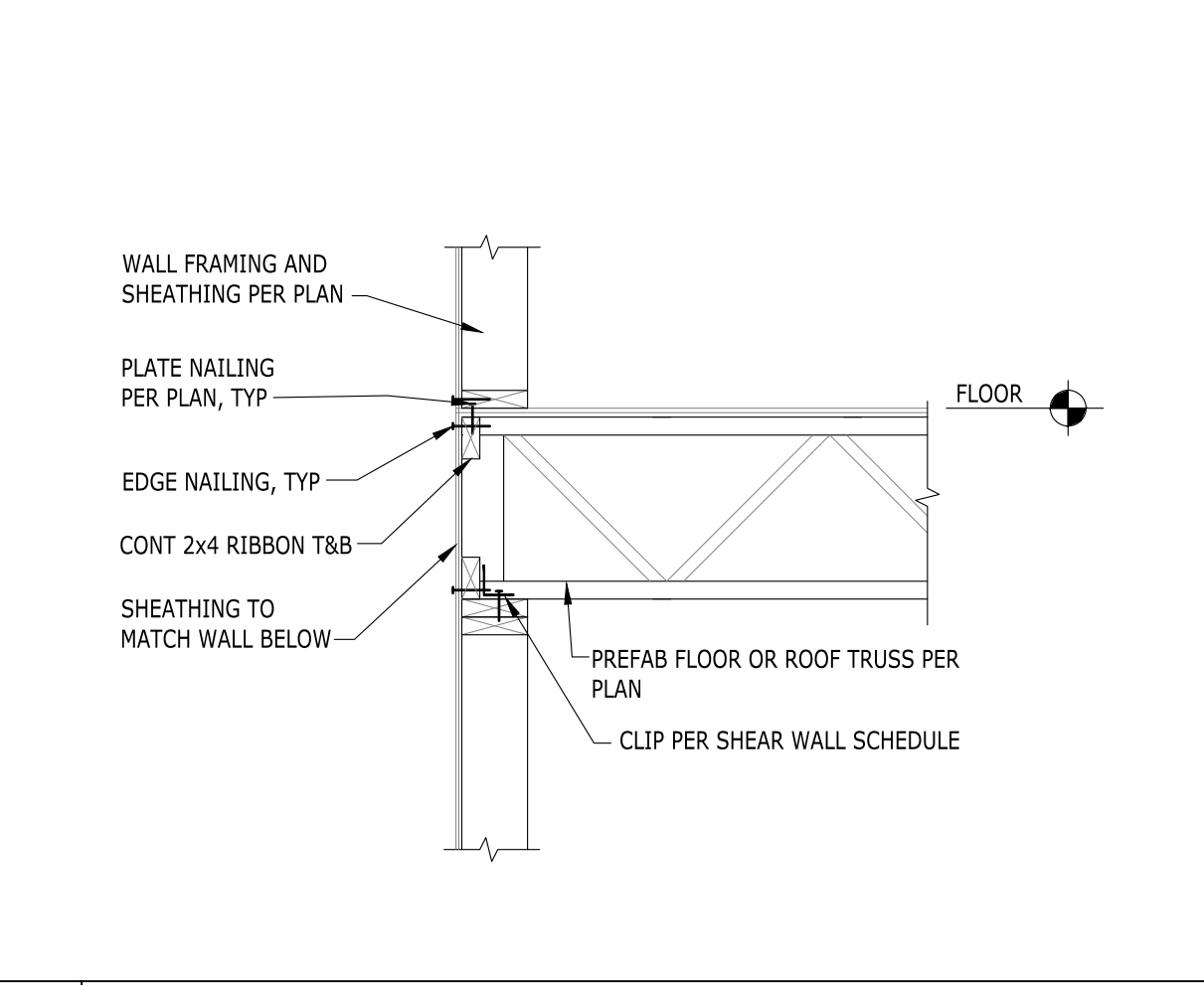
7 PARALLEL TRUSS AT SHEAR WALL



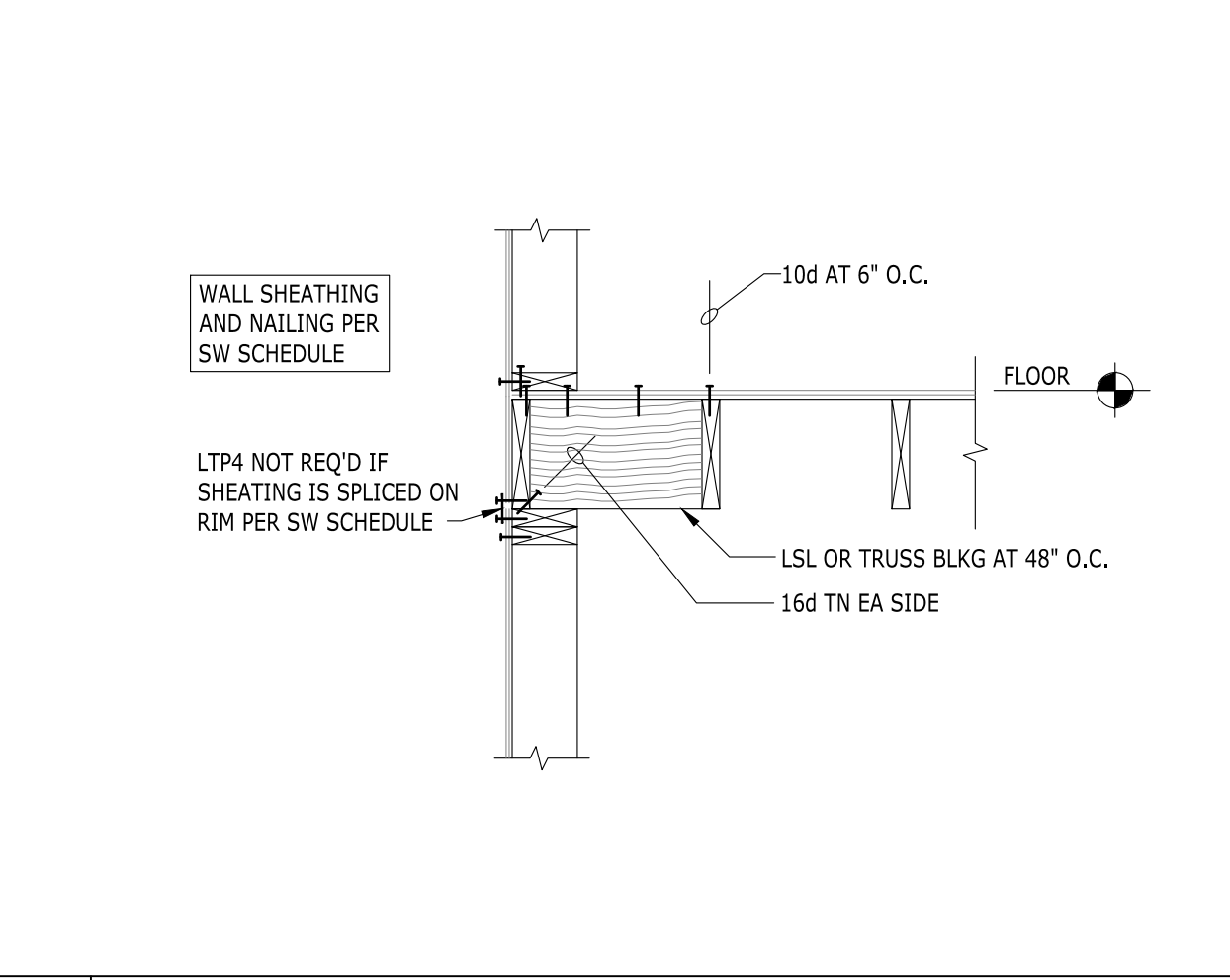
6 RIDGE STRAP



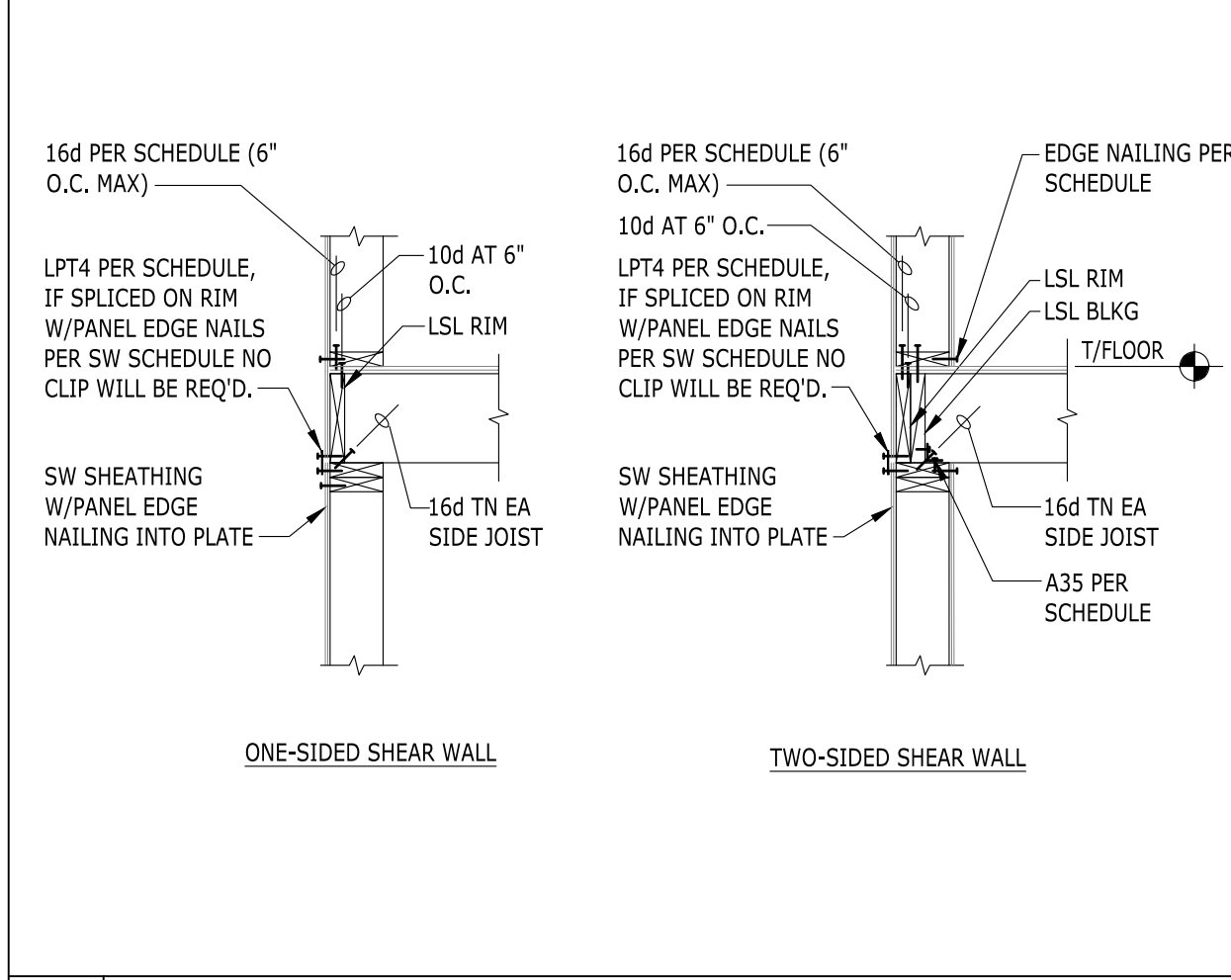
14 SHEAR TRANSFER AT EXTERIOR WALL



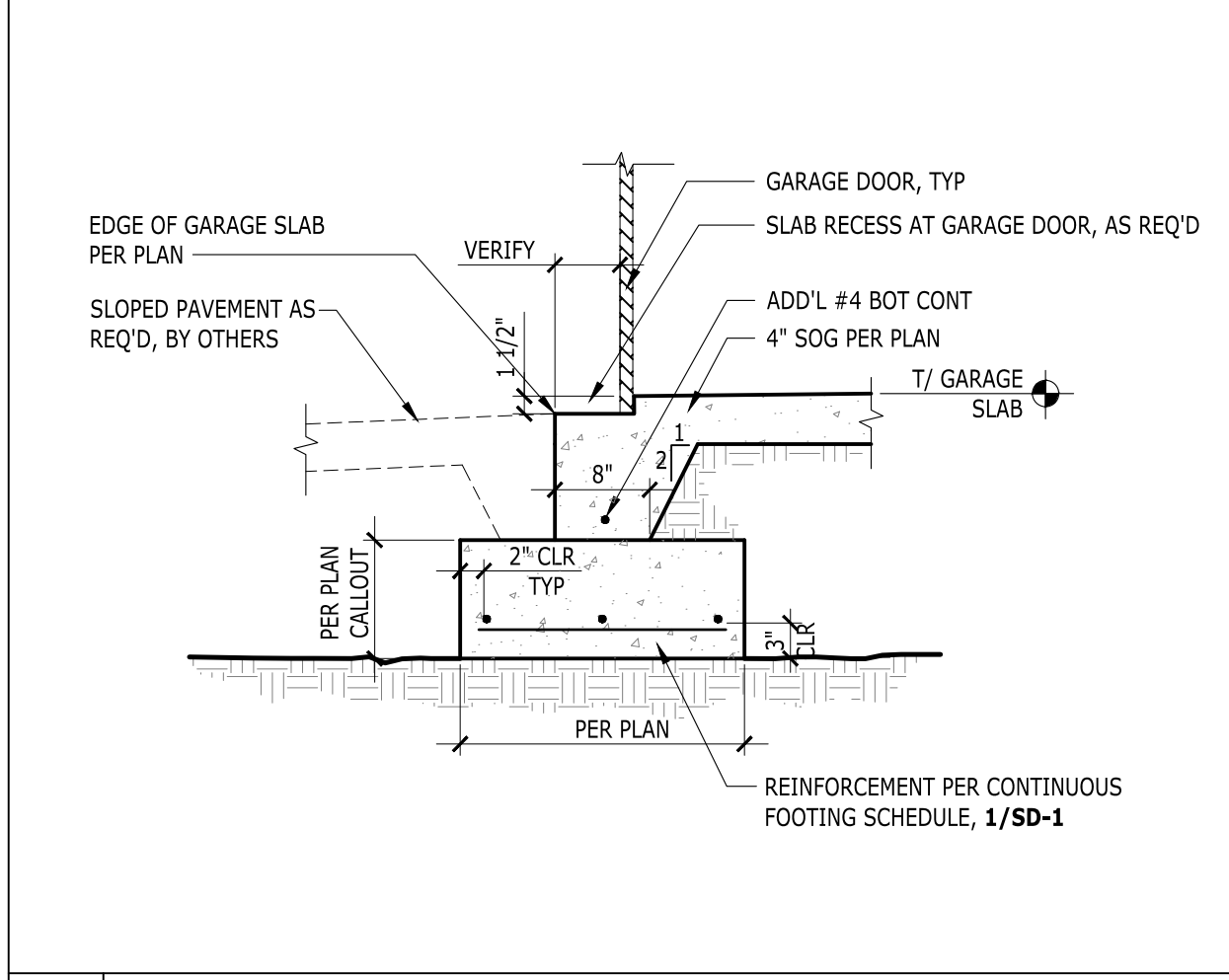
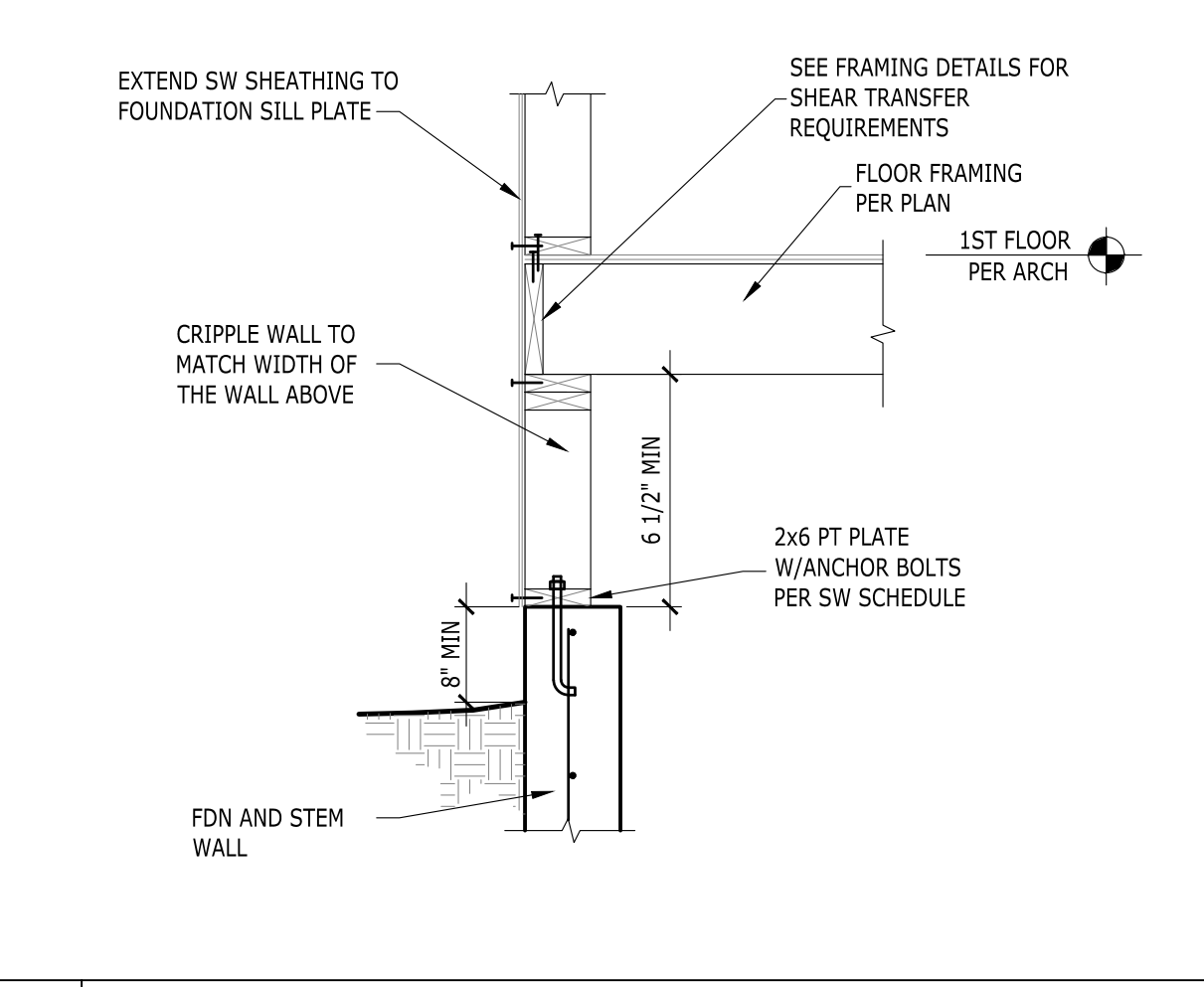
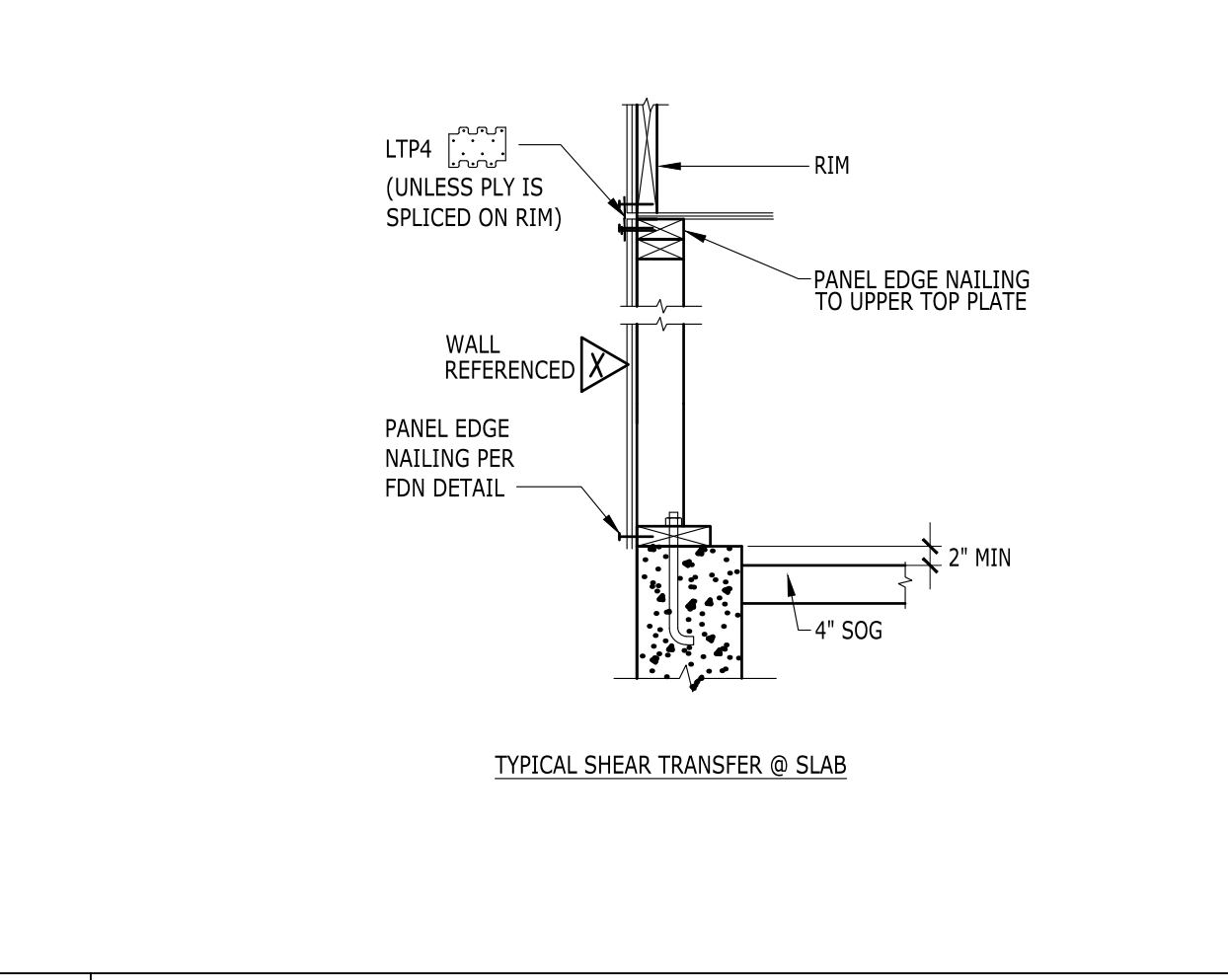
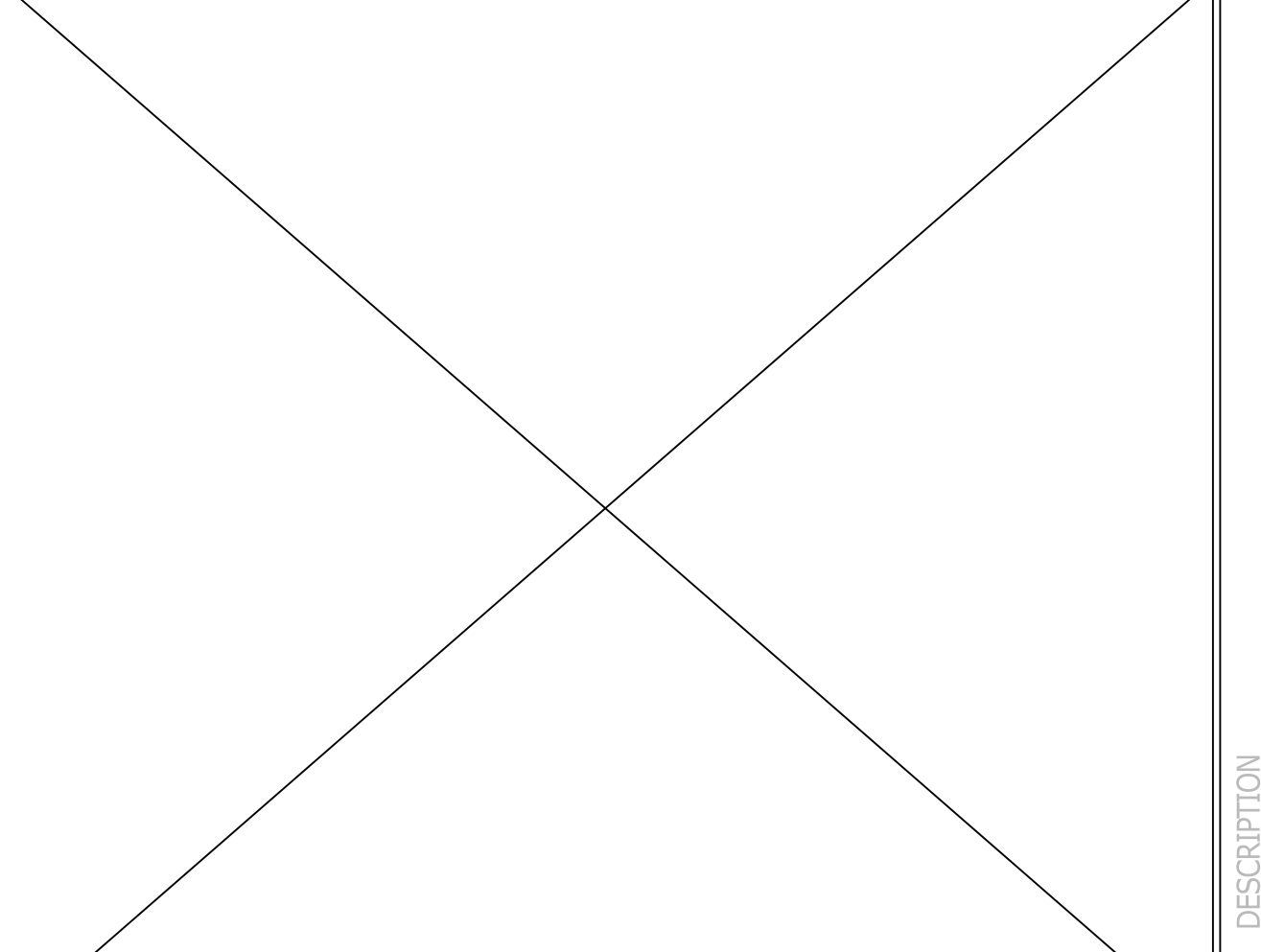
13 SHEAR TRANSFER AT EXTERIOR WALL



12 SHEAR TRANSFER AT EXTERIOR WALL



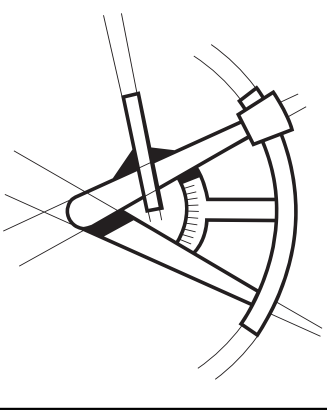
11 SHEAR TRANSFER AT EXTERIOR WALL



16 FOUNDATION AT GARAGE ENTRANCE

17 WALL FRAMING AT GARAGE CURB

18 PONY WALL



REVISIONS

Δ	DESCRIPTION	DATE	BY
1	BDC	21/03/26	AP

PROJECT NAME

FOREST AVE LOT 4

PROJECT NUMBER

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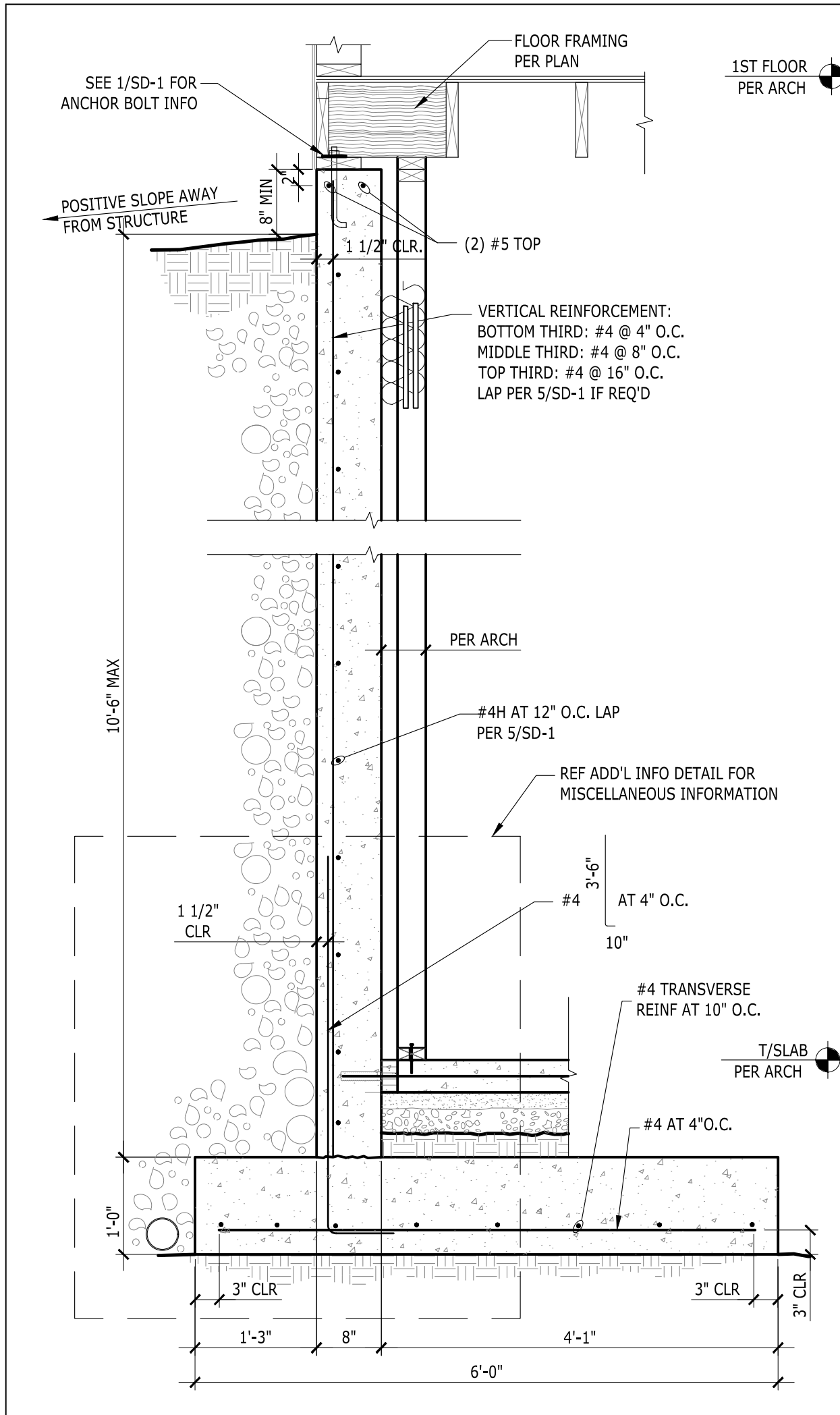
DRAWN BY - AP

CHECKED BY - MT

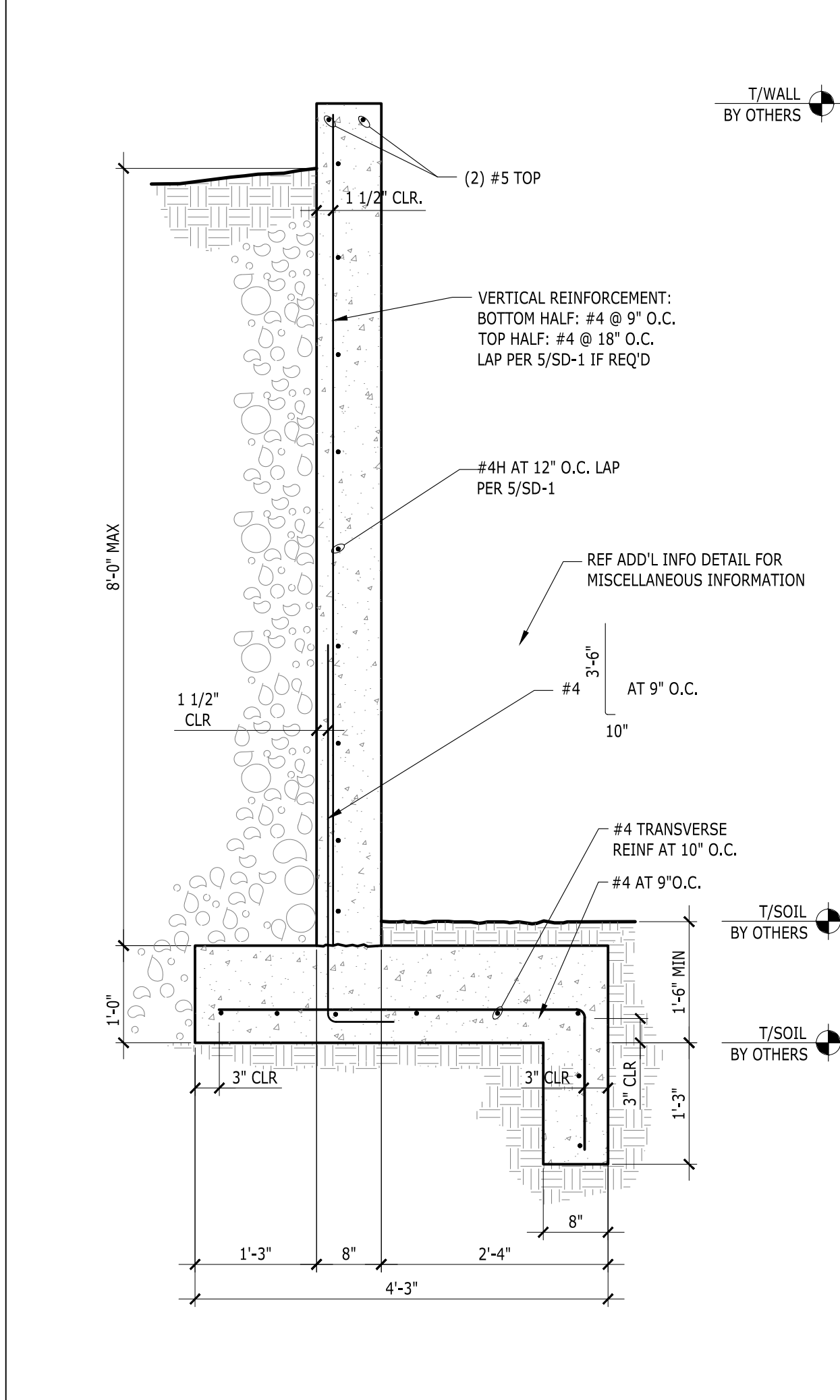
SHEET DATE - 03/03/2021

SCALE

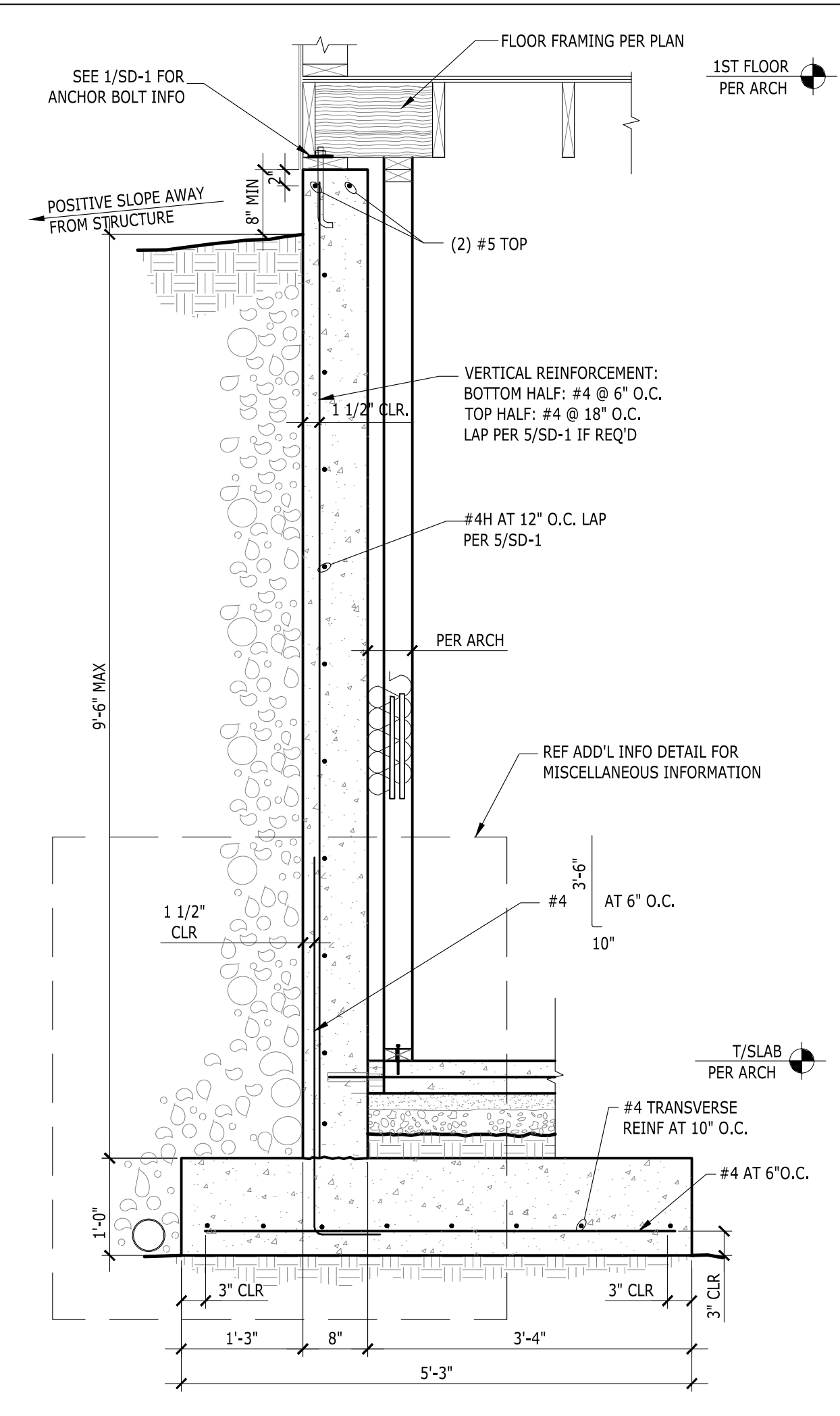
24X36 SHEET: 1/4" = 1'-0"



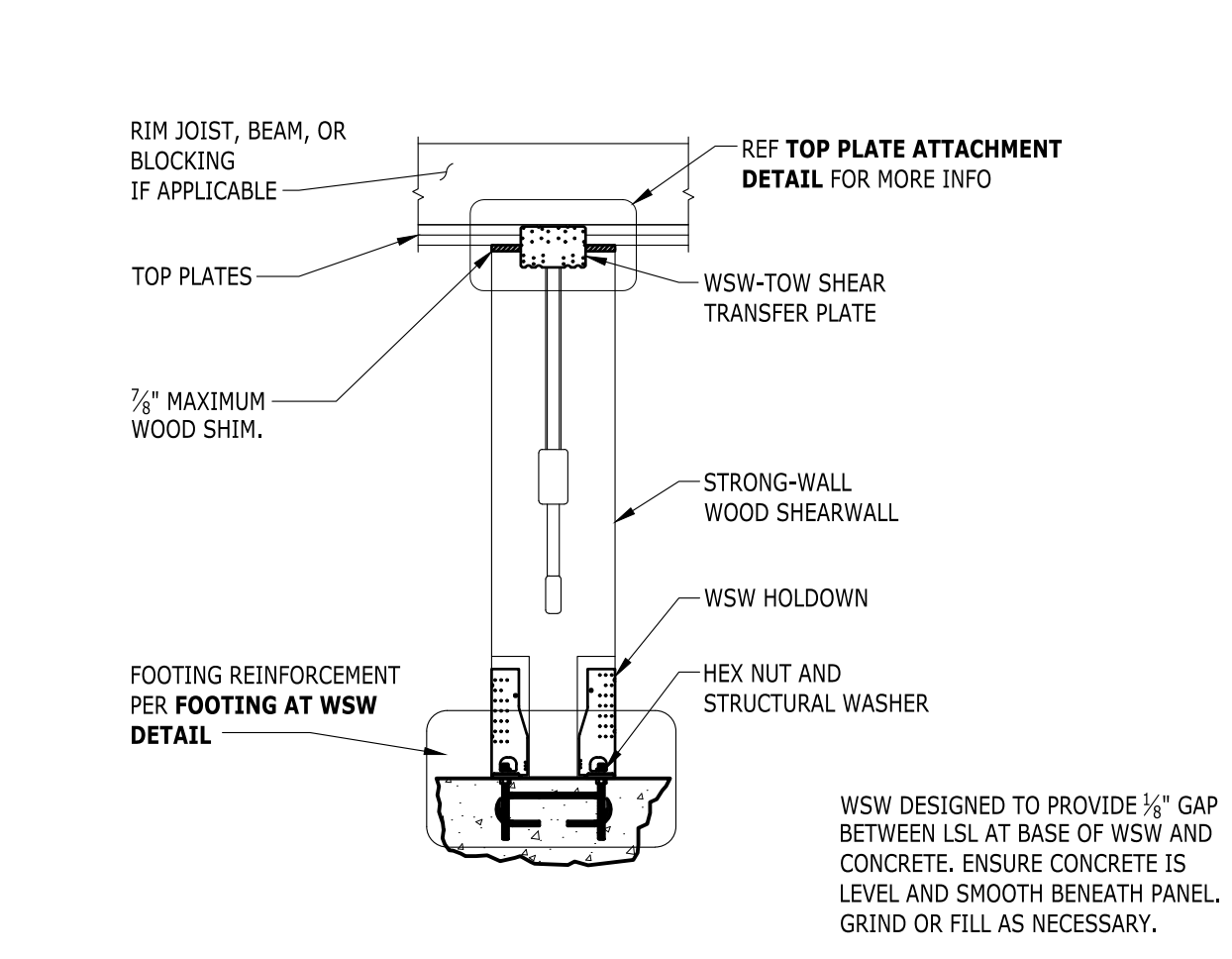
6 RETAINING WALL (10'-6" MAX BACKFILL)



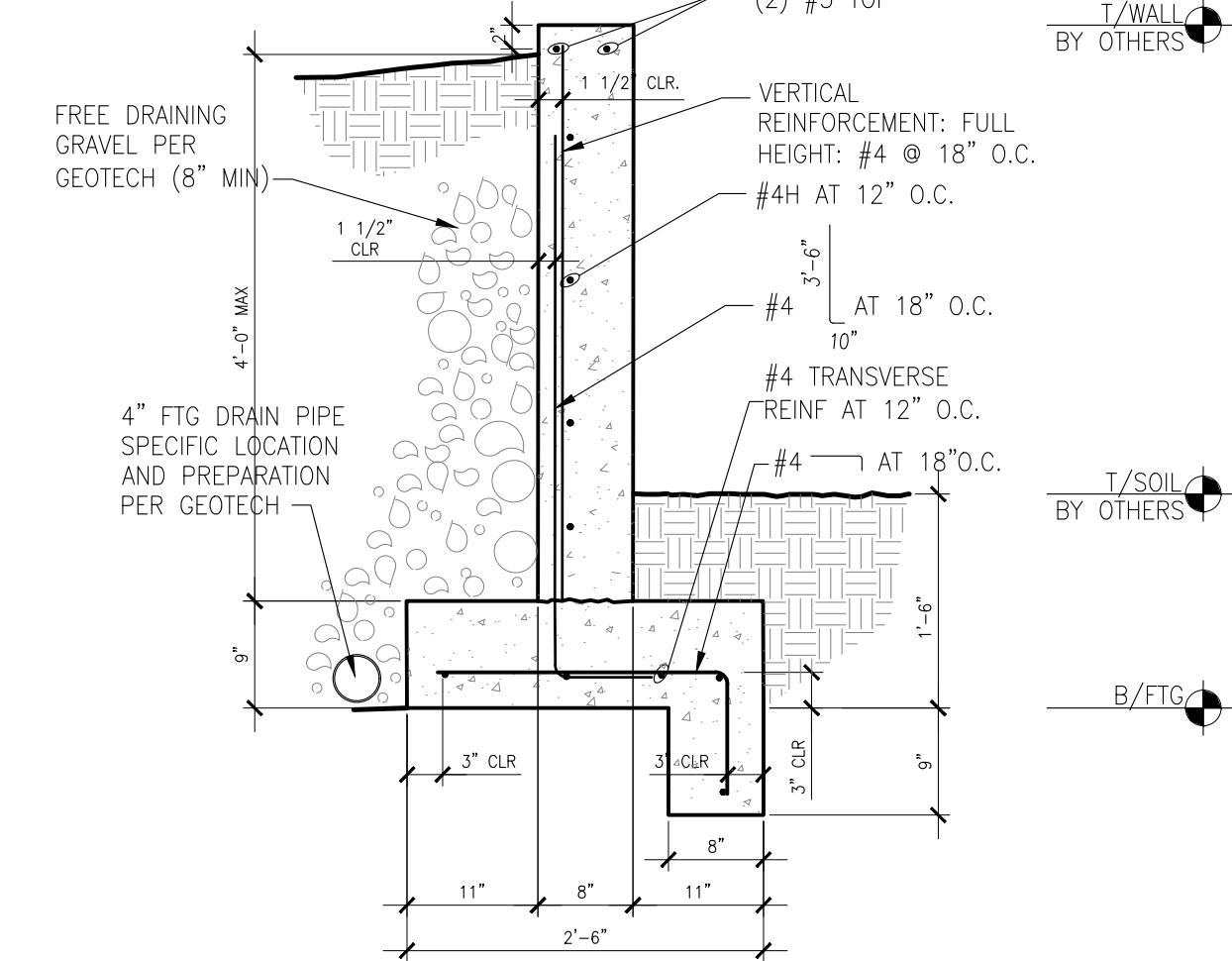
16 RETAINING WALL (8'-0" MAX BACKFILL)



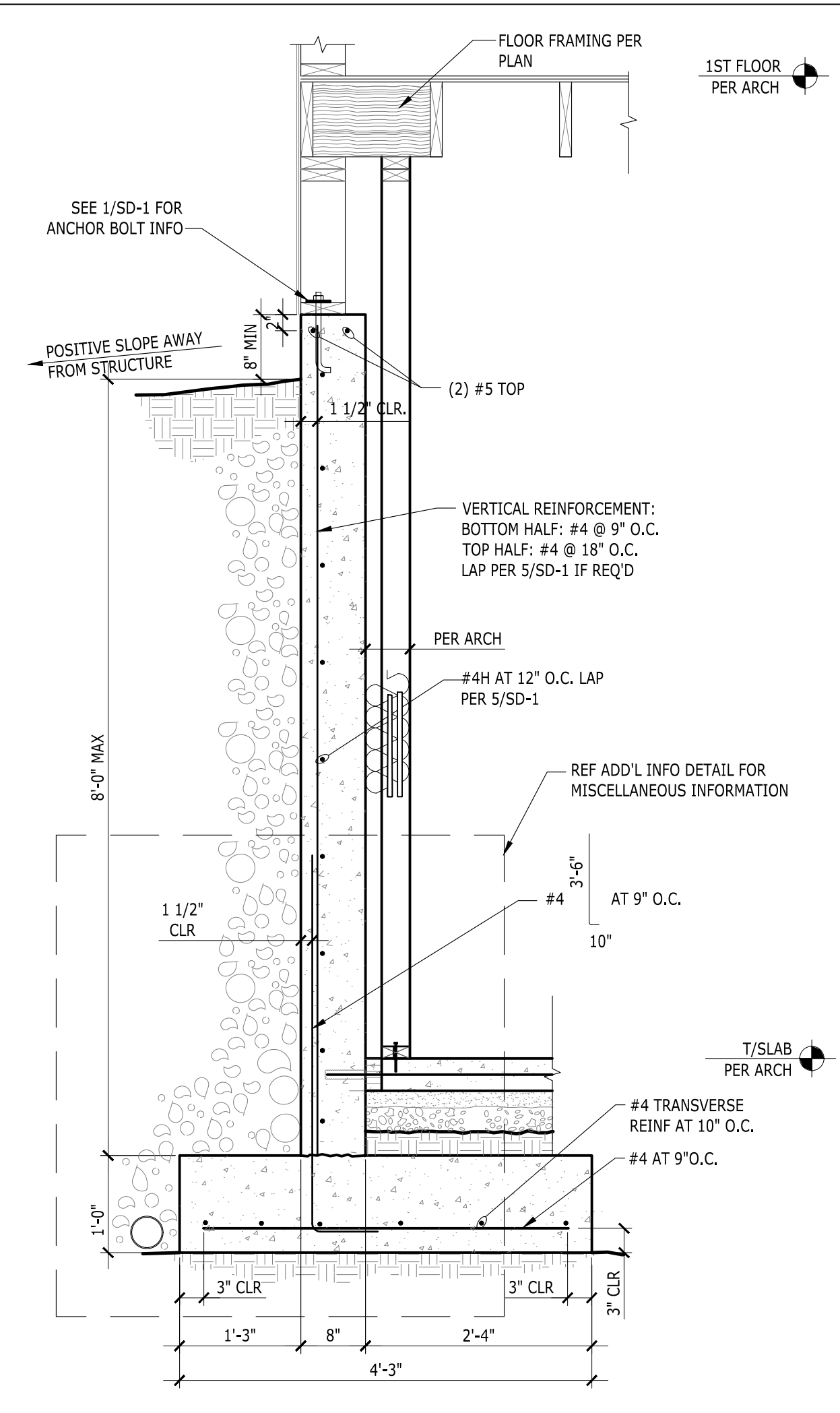
7 RETAINING WALL (9'-6" MAX BACKFILL)



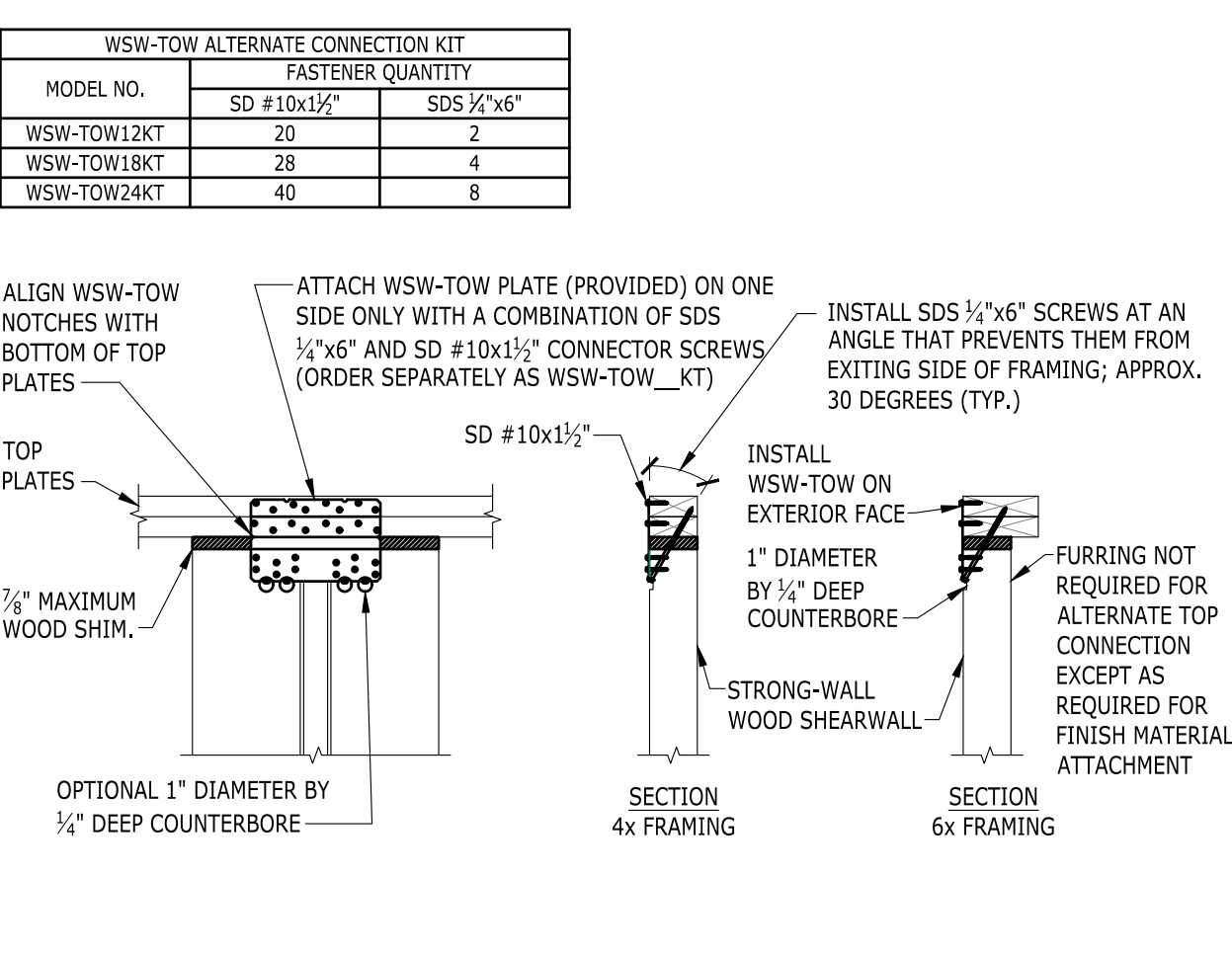
12 WSW SIMPSON STRONG WALL



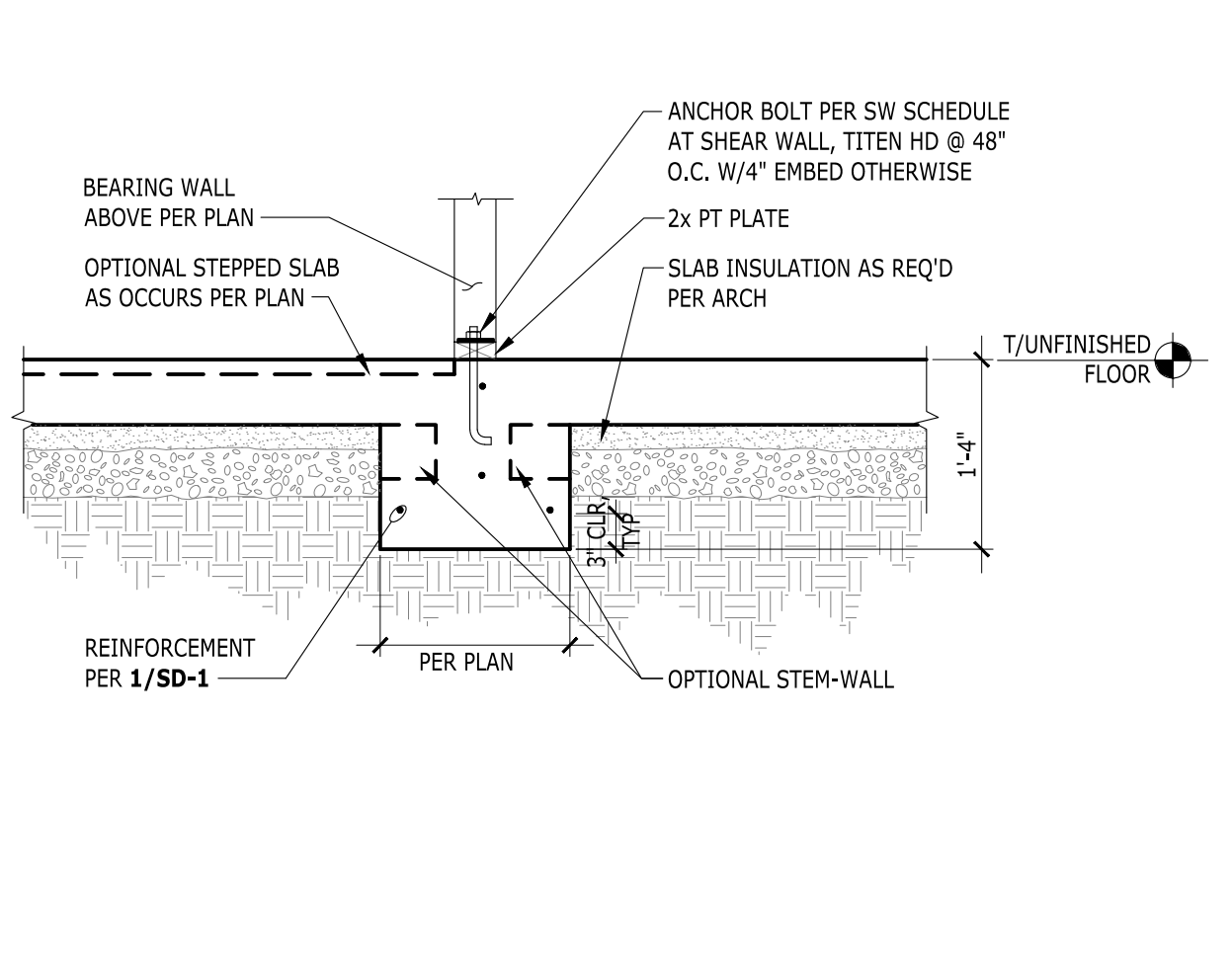
17 RETAINING WALL NO SLAB (4'-0" MAX BACKFILL)



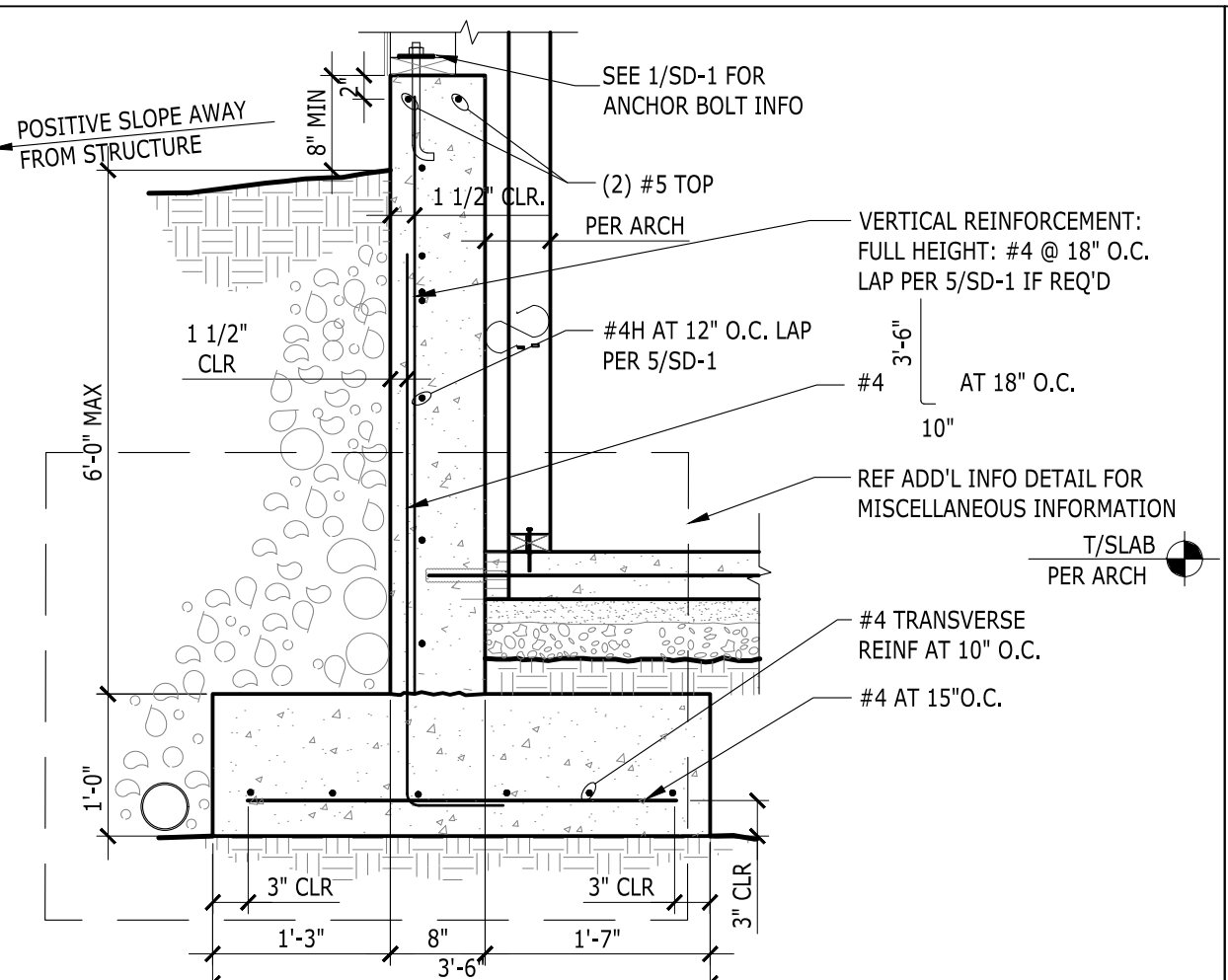
8 RETAINING WALL (8'-0" MAX BACKFILL)



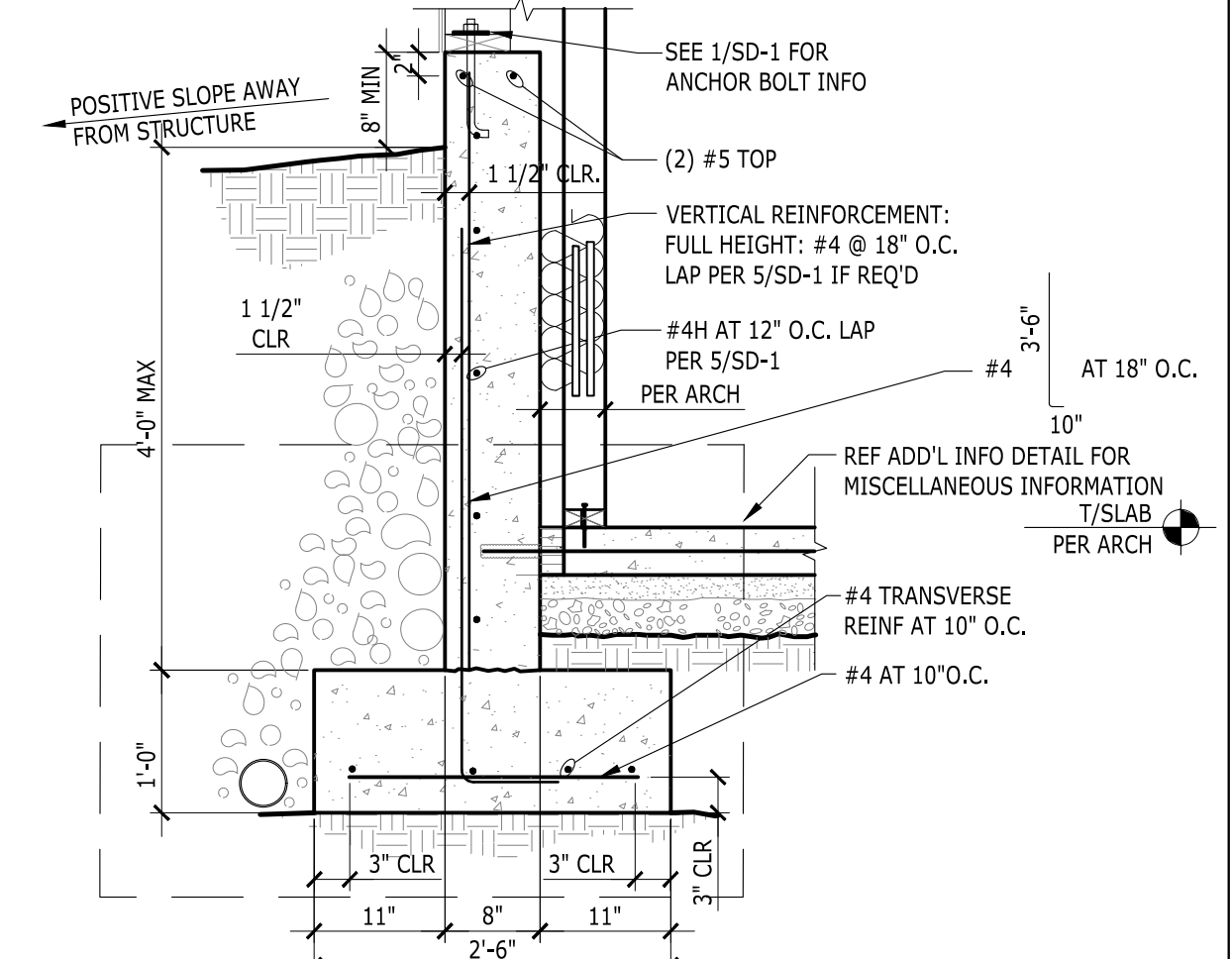
13 WSW TOP PLATE ATTACHMENT



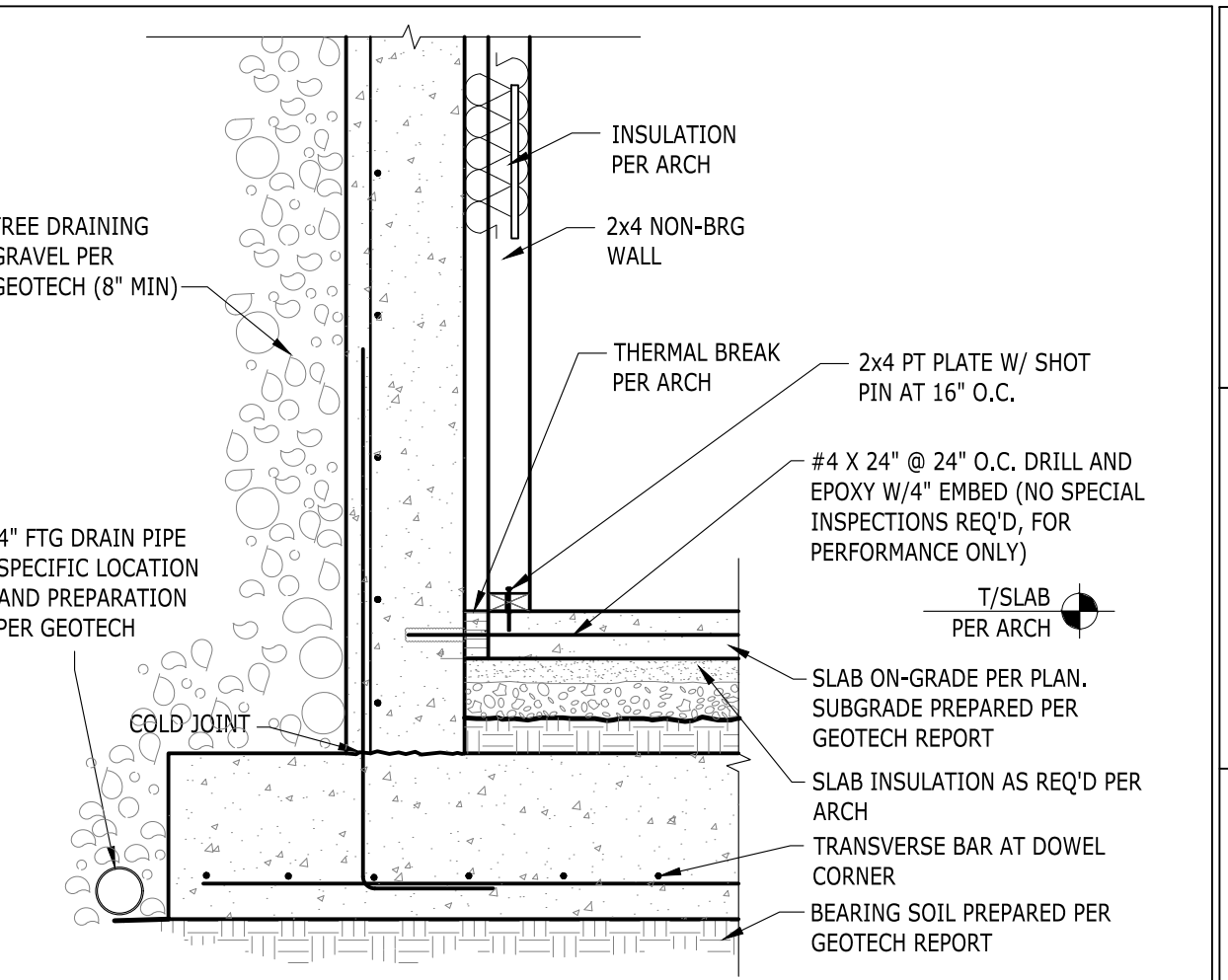
18 THICKENED SLAB UNDER BEARING WALL



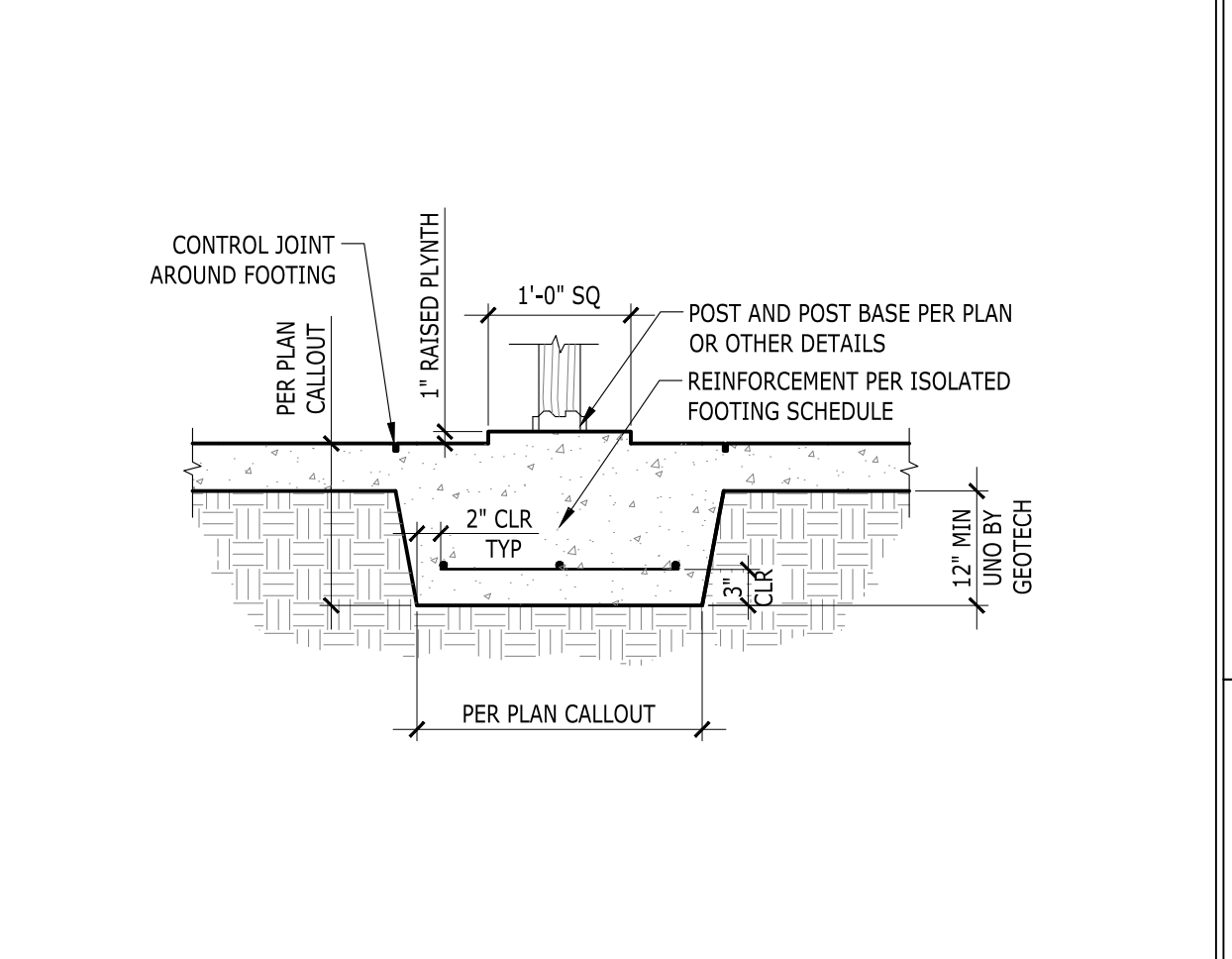
4 RETAINING WALL (6'-0" MAX BACKFILL)



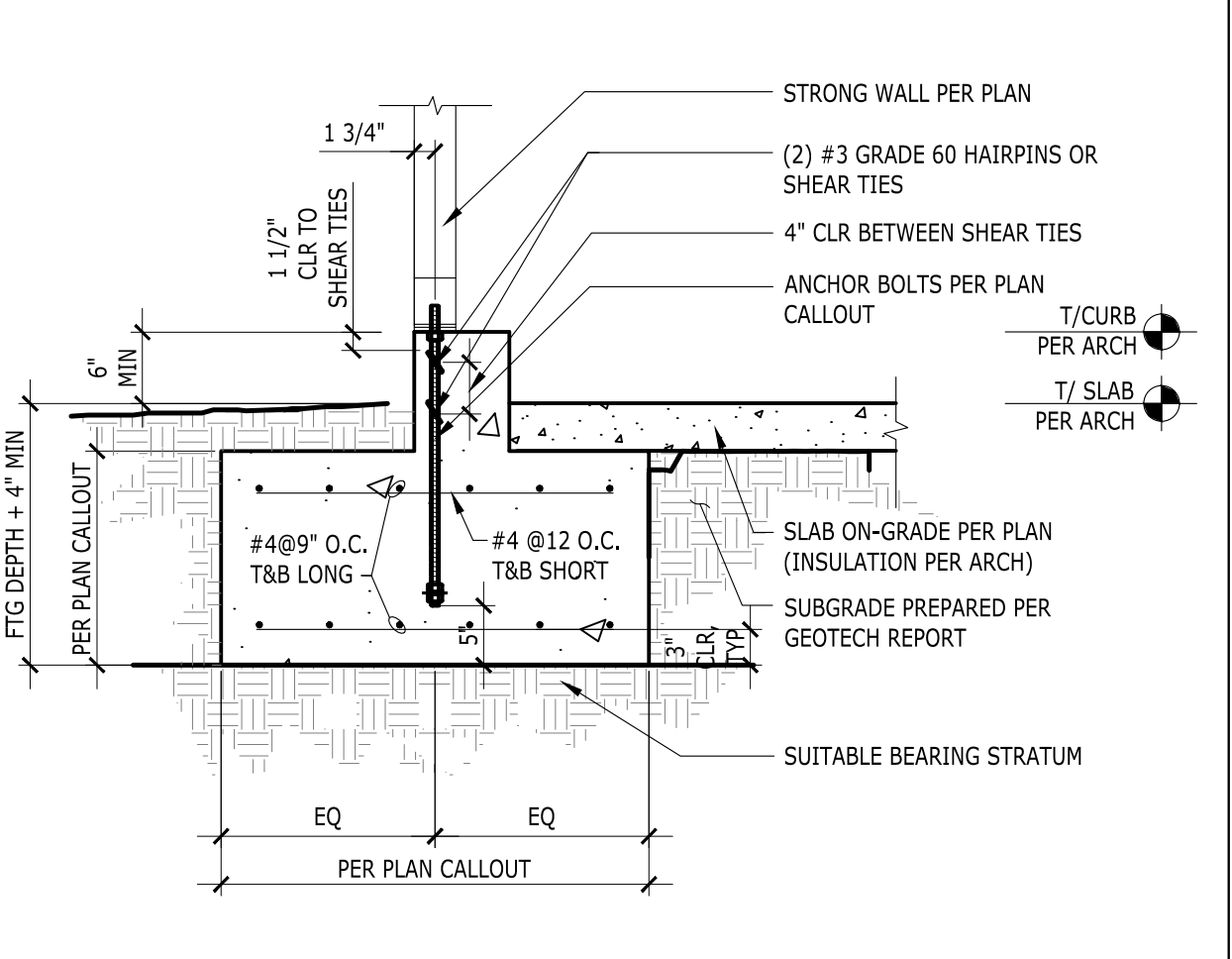
9 RETAINING WALL (4'-0" MAX BACKFILL)



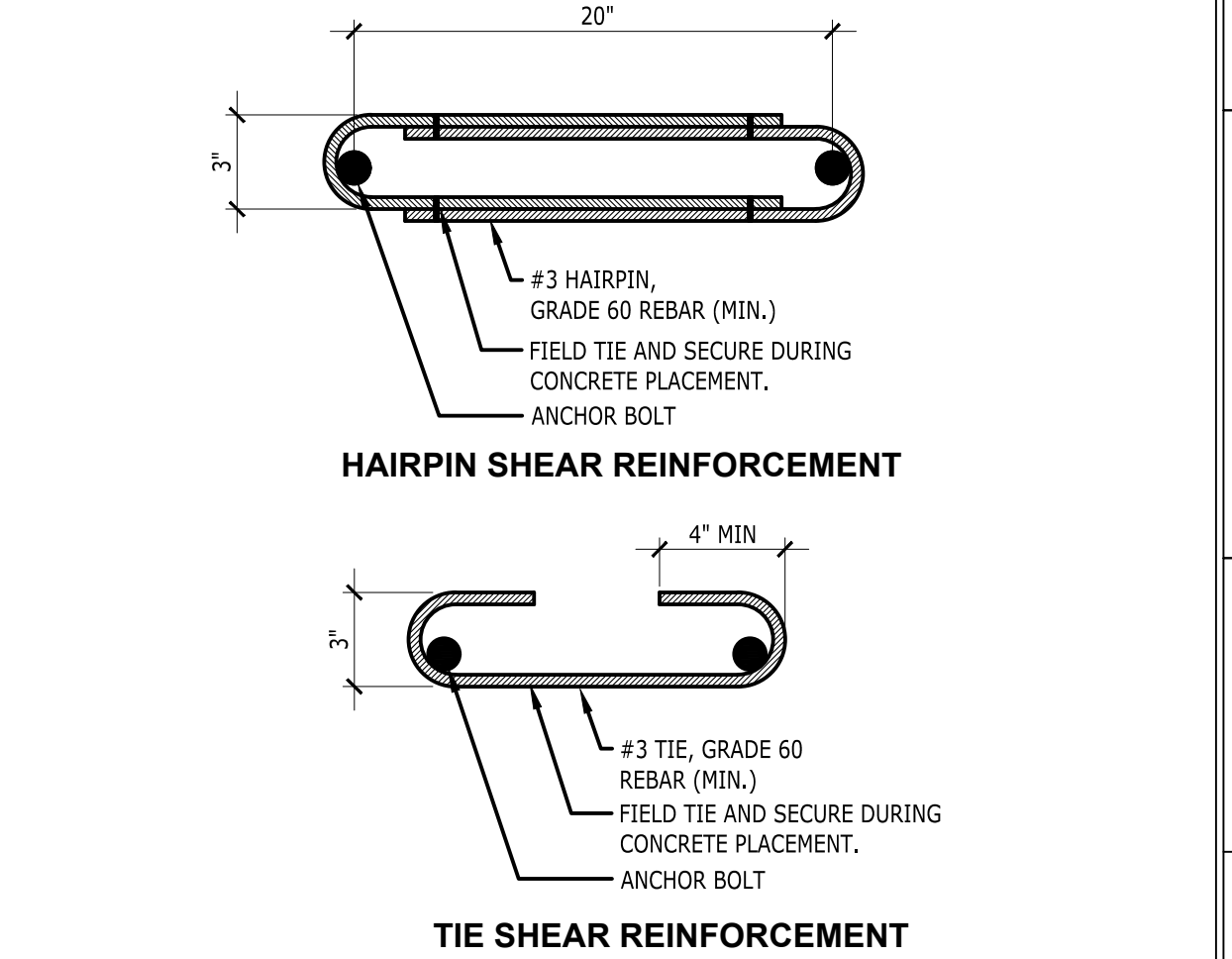
5 RETAINING WALL ADD'L INFO



10 ISOLATED INTERIOR FOOTING



14 FOOTING AT WSW WALL



15 SHEAR REINFORCEMENT AT WSW WALL