# **GENERAL NOTES**

1. CODE COMPLIANCE: ALL WORK SHALL COMPLY WITH THE 2015 IRC, 2015 IMC, 2015 IFGC, 2015 IFC, 2015 UPC, 2015 IPMC, 2008 NEC, 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH WASHINGTON STATE AMENDMENTS, 2009 ICC A117.1, AND WITH ALL LOCAL CODES AND ORDINANCES.

2. DIMENSIONS: DO NOT SCALE DRAWINGS, VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION, NOTIFY THE ARCHITECT OF DISCREPANCIES. IF WORK IS STARTED PRIOR TO NOTIFICATION, THE GENERAL AND SUBCONTRACTOR PROCEED AT THEIR OWN RISK. UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TO FACE OF STUDS OR FACE OF CONCRETE WALLS. FACE OF STONE VENEER LIES 6" +/- OUTSIDE THE FACE OF FRAMING. INTERIOR PLAN DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED. VERIFY ALL ROUGH-IN DIMENSIONS FOR WINDOWS, DOORS, PLUMBING, ELECTRICAL FIXTURES AND APPLIANCES PRIOR TO COMMITMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES OF DIMENSIONAL TOLERANCES REQUIRED.

3. DOCUMENT REVIEW/VERIFICATION: CONSULT WITH ARCHITECT REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK

4. ROUGH OPENINGS/BACKING: VERIFY SIZE AND LOCATION, AS WELL AS PROVIDE ALL OPENINGS THROUGH FLOORS AND WALLS, FURRING, CURBS, ANCHORS, INSERTS, EQUIPMENT BASES AND ROUGH BUCKS/BACKING FOR SURFACE-MOUNTED ITEMS.

5. FURRING: PROVIDE FURRING AS REQUIRED TO CONCEAL MECHANICAL AND/OR ELECTRICAL EQUIPMENT IN FINISHED AREAS. FURRING NOT SHOWN ON PLANS SHALL BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.

6. GRADES: VERIFY ALL GRADES AND THEIR RELATIONSHIP TO THE BUILDING(S).

7. FLOOR LINES: "FLOOR LINE" REFERS TO TOP OF CONCRETE SLAB OR TOP OF WOOD SUBFLOOR.

8. REPETITIVE FEATURES: OFTEN DRAWN ONLY ONCE AND SHALL BE PROVIDED AS IF FULLY DRAWN.

9. DOORS: DOORS NOT DIMENSIONALLY LOCATED SHALL BE 6" FROM STUD FACE TO EDGE OF DOOR, ROUGH OPENING OR CENTERED BETWEEN WALLS AS SHOWN.

10. WOOD MEMBERS IN CONTACT WITH CONCRETE, AND/OR EXPOSED TO WEATHER: TO BE PRESSURE TREATED, TYPICAL. PROVIDE PRESSURE TREATED SILL PLATE IF FINISH GRADE IS WITHIN 8", TYPICAL.

ALL NEW INTERIOR FRAME PARTITIONS TO BE 2X4 @ 16" O.C., & ALL NEW EXTERIOR FRAME PARTITIONS TO BE 2X6 @ 16" O.C., UNLESS OTHERWISE NOTED. VERIFY W/ STRUCTURAL DRAWINGS. EXISTING EXTERIOR WALLS ARE 2X4 STUDS @ 16" O.C., AND ARE TO REMAIN. NEW INTERMEDIATE FRAMING AT EXTERIOR WOOD WALLS REQUIRES HEADERS INSULATED WITH A MIN. R-10 INSULATION.

12. VENTILATION: VENT ALL BATHROOM FANS, LAUNDRY FANS, RANGE HOODS AND DRYERS TO OUTSIDE ATMOSPHERE. BATHROOM/UTILITY ROOM FANS SHALL BE CAPABLE OF 5 AIR CHANGES PER HOUR AND SHALL BE VENTED DIRECTLY TO THE OUTSIDE THROUGH SMOOTH, RIGID, NON-CORROSIVE METAL, 24 GA. DUCTWORK. FLEX DUCTING IS NOT ALLOWED. WSEC R402.4.1.2 REQUIRES THE DWELLING UNIT TO BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING MUST BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2. NEW CONSTRUCTION MAY BE ISOLATED FROM EXISTING STRUCTURE FOR TESTING

13. FLUES: FLUES TO BE LOCATED MINIMUM 2" FROM ALL COMBUSTIBLE MATERIALS.

14. DOWNSPOUTS: LOCATE NEW DOWNSPOUTS AS SHOWN ON ROOF PLAN, FLOOR PLANS & ELEVATIONS.

15. OTHER DOCUMENTATION: REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL, AND/OR LANDSCAPE DRAWINGS FOR ADDITIONAL DRAWINGS, NOTES, SCHEDULES, AND SYMBOLS.

16. PROTECTION: PROTECT ALL EXISTING FINISHES AND SURFACES. ANY DAMAGE WILL BE REPAIRED WITHOUT

17. PERMITS: SEPARATE ELECTRICAL, MECHANICAL, AND PLUMBING PERMITS ARE REQUIRED IN ADDITION TO THE BASIC BUILDING PERMIT

18. ROOFING: PROVIDE NEW ROOFING TO MATCH EXISTING.

ADDITIONAL COST TO OWNER.

19. EXHAUST DUCTS: PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST DUCTS. PROVIDE COMBUSTION AIR OPENINGS INTO

FURNACE ROOM PER UMC 703.

20. APPLIANCES: CLEARANCES OF UL LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED IN UL LISTING. 21. WATER FLOW: SHOWER SHALL BE EQUIPPED WITH FLOW CONTROL DEVICE TO LIMIT WATER FLOW TO 2.5 GALLONS PER MINUTE.

22. SMOKE DETECTORS: SMOKE & CARBON MONOXIDE THROUGHOUT NEW CONSTRUCTION. TO BE MONITORED PER FIRE DEPARTMENT REQUIREMENTS.

23. FIREBLOCKING: FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION PER 2015 IRC SECTION R302.11, SPECIFICALLY: 1) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, 2) AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, 3) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT T.O. & B.O. RUN, 4) AT OPENINGS AROUND VENTS, PIPES, ETC. AT CEILING AND FLOOR LEVEL.

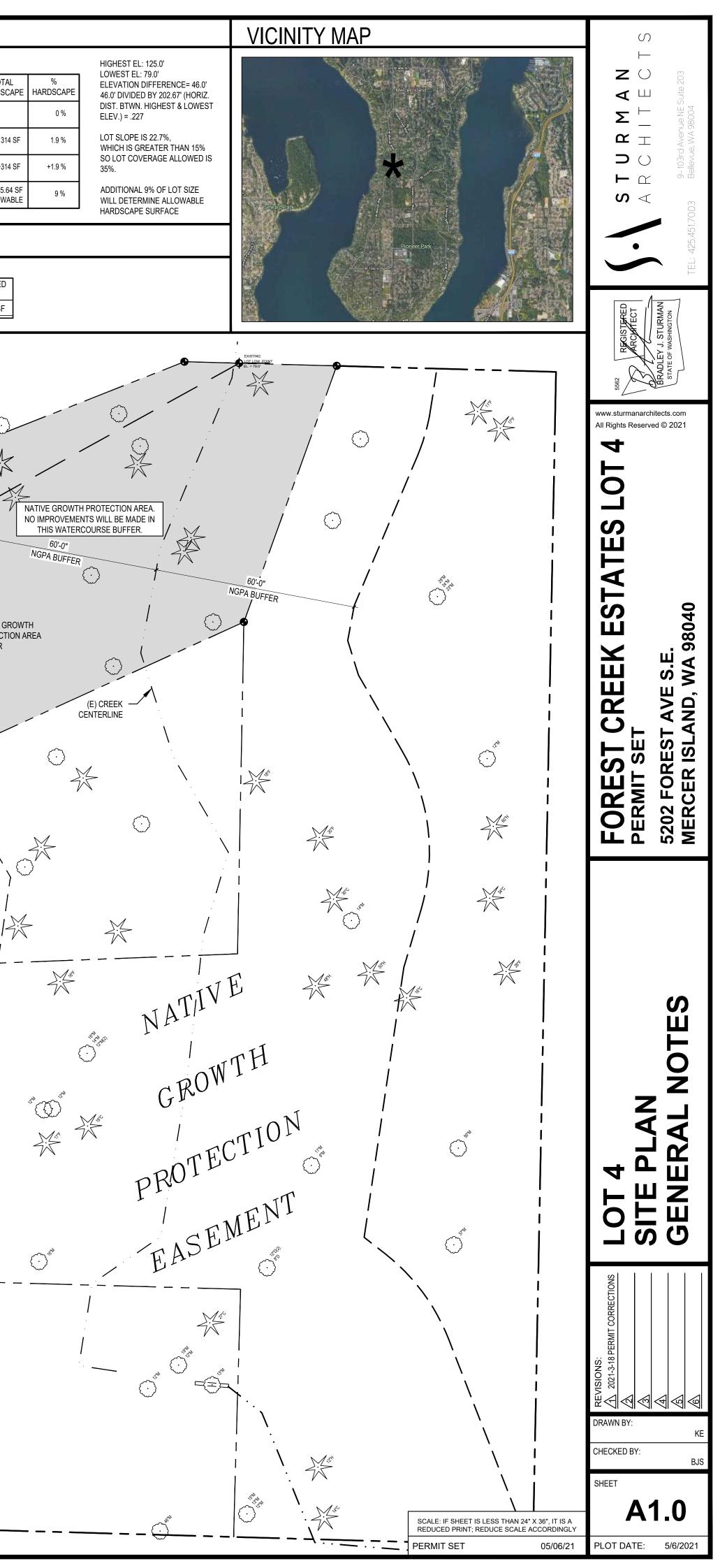
# ENERGY NOTES

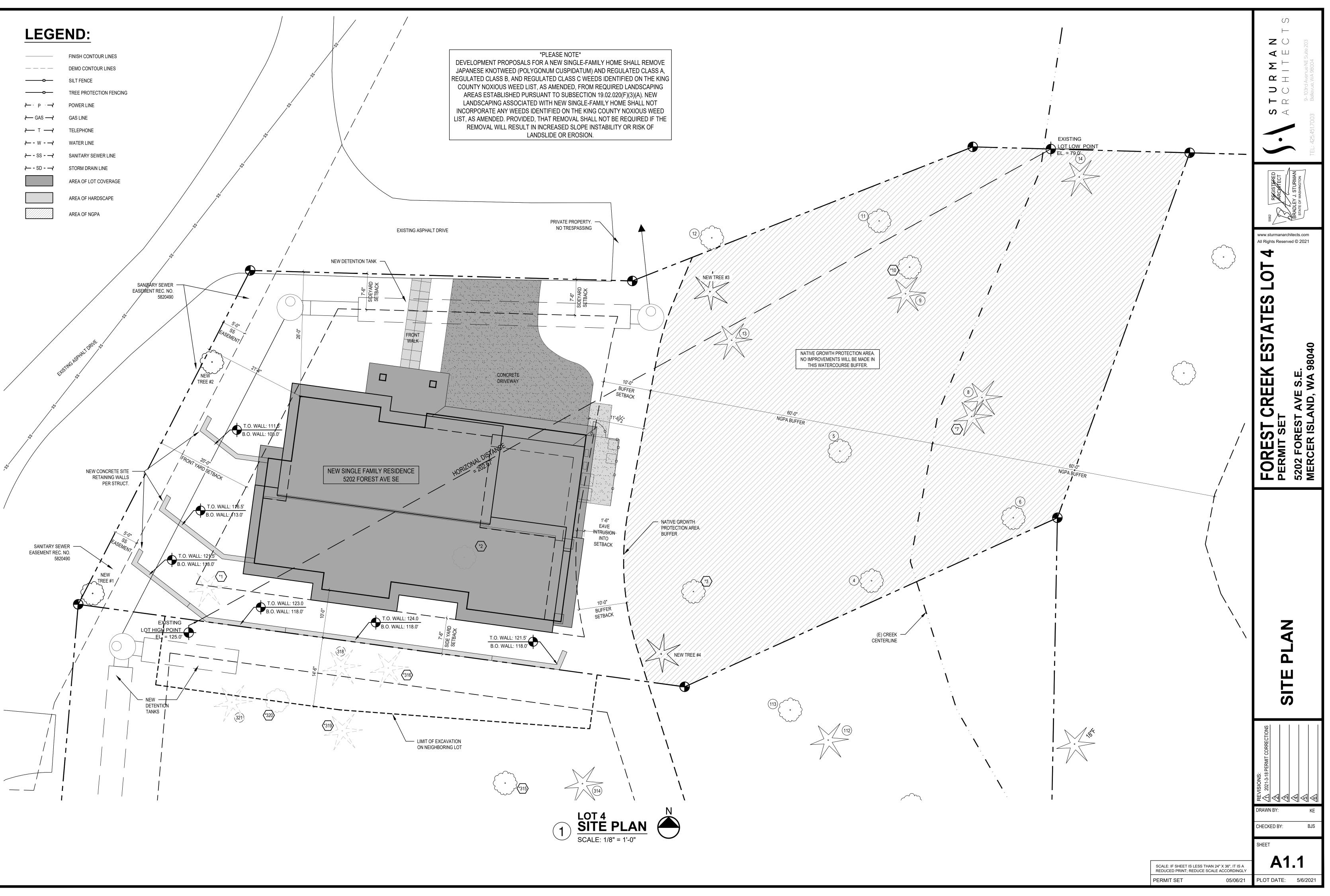
CODE:	2015 W.S.E.C. & 2015 IRC, WAC 51-11R CLIMATIC ZONE: ZONE #4C -MARINE
SPACE HEAT TYPE:	NATURAL GAS, FORCED AIR SYSTEM THERMAL STANDARDS UNLIMITED OPTION
INSULATION VALUES: PRESCRIPTIVE METHOD	FOR OPENINGS: WALLS: R-21 FLAT ATTICS/CEILINGS: R-49 VAULTED CEILINGS: R-38 FLOORS (OVER UNHEATED SPACES): R-30 SLAB-ON-GRADE: R-10
	PER WSEC R401.3, A CERTIFICATE IS REQUIRED TO BE POSTED WITHIN 3 FT OF THE ELECTRICAL PANEL; IT MUST INCLUDE THE FOLLOW: PREDOMINATE R-VALUES, U-VALUES OF FENESTRATION, RESULTS FROM DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING, AND EFFICIENCIES OF HEATING/COOLING/WATER HEATING EQUIPMENT.
AIR INFILTRATION:	MANUFACTURED DOORS/WINDOWS: CONFORM TO SECTION R402.4.3 OF THE WASHINGTON STATE ENERGY CODE
	EXTERIOR JOINTS/OPENINGS: SEAL, CAULK, GASKET OR WEATHERSTRIP TO LIMIT AIR LEAKAGE AT EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATION, BETWEEN WALLS AND ROOF; OPENINGS AT PENETRATIONS OF UTILITY SERVICES AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE
MOISTURE CONTROL:	WALLS: VAPOR RETARDER BONDED TO BATT INSULATION; INSTALL WITH STAPLES NOT MORE THAN 8 INCHES ON CENTER AND AND WITH A GAP BETWEEN AND OVER FRAMING NOT GREATER THAN 1/16 OF AN INCH; OR, VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE)
	ATTICS/CEILINGS: VAPOR RETARDER OF ONE PERM CUP RATING (4 MIL POLYETHYLENE). INSTALL CONTINUOUSLY
	CRAWL SPACE: 6 MIL POLYETHELENE
VENTILATION:	ATTICS WITH LOOSE FILL: N.A. BAFFLE VENT OPENINGS TO DEFLECT AIR ABOVE INSULATION SURFACE ENCLOSED JOIST OR RAFTER SPACES: PROVIDE MINIMUM OF ONE INCH CLEAR VENTED AIR SPACE ABOVE INSULATION. TAPER OR COMPRESS INSULATION AT PERIMETER TO INSURE PROPER VENTILATION, MAINTAINING MINIMUM OF R-38.
HEATING & COOLING:	GAS FURNACE & AIR SOURCE HEAT PUMP
TEMP. CONTROL:	FOR HEATING AND COOLING, THERMOSTAT SHALL BE CAPABLE OF BEING SET FROM 55-85 DEGREES FARENHEIT AND OF OPERATING THE HEATING/COOLING SYSTEM IN SEQUENCE. THERMOSTAT TO BE AUTOMATIC DAY/NIGHT SETBACK TYPE.
DUCT INSULATION:	THERMALLY INSULATE ALL PLENUMS, DUCTS AND ENCLOSURES IN ACCORDANCE WITH SECTION R403.3.1 OF THE WASHINGTON STATE ENERGY CODE.
	a. ALL HEATING DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED WITH A MIN. OF R-8. ALL SEAM JOINTS SHALL BE TAPED, SEALED AND FASTENED WITH THE MINIMUM OF FASTENERS PER WSEC.
	b. DUCTS WITHIN A CONCRETE SLAB OR IN THE GROUND SHALL BE INSULATED TO R-10, WITH INSULATION DESIGNED TO BE USED BELOW GRADE.
LIGHTING:	RECESSED LIGHTING FIXTURES INSTALLED IN BUILDING ENVELOPE SHALL COMPLY WITH WSEC PROVISIONS AND SHALL BE IC LISTED. A MIN. OF 75% OF PERMANENTLY INSTALLED LAMPS IN INTERIOR AND EXTERIOR LIGHTING FIXTURES MUST BE HIGH-EFFICACY LAMPS, PER WSEC R404.1.
PIPE INSULATION:	ALL HOT WATER PIPES, AND NON-RECIRCULATING COLD WATER PIPES LOCATED IN UNCONDITIONED SPACE, SHALL BE INSULATED TO R-3 MIN. PLUMBING OR MECHANICAL CANNOT DISPLACE THE REQUIRED INSULATION.
WHOLE HOUSE VENTILATION:	<ul> <li>WHOLE HOUSE VENTILATION SYSTEM: <ul> <li>a. WHOLE HOUSE VENTILATION SHALL BE PROVIDED BY EXHAUST FAN PROVIDING 320 CFM RUNNING INTERMITTENTLY PER 2015 IRC TABLES M1507.3.3 (1&amp;2). FAN SHALL BE LESS THAN .35 WATT PER CFM AND CONNECTED TO A 24 HOUR CLOCK TIMER AND HAVE A SONE RATING OF LESS THAN 1.0. VENTILATION SHALL BE ABLE TO OPERATE INDEPENDENTLY OF HEATING SYSTEM.</li> <li>b. SYSTEM SHALL HAVE A 5"Ø SMOOTH FRESH AIR DUCT W/ LOUVER &amp; SCREEN CONNECTED TO THE RETURN AIR STREAM 4' UPSTREAM OF THE AIR HANDLER AND INSULATED W/ R-4 MIN IN HEATED AREAS.</li> <li>c. SHALL HAVE A FILTER WITH A MERV OF AT LEAST 6 INSTALLED IN AN EASILY ACCESSIBLE LOCATION.</li> <li>d. FRESH AIR VENT SHALL BE LOCATED AWAY FROM SOURCES OF ODORS OR FUMES, MIN 10' FROM PLUMBING OR APPLIANCE VENTS, AWAY FROM ROOMS W/ FUEL BURNING APPLIANCES, AND OUT OF ATTICS, CRAWL SPACES, AND GARAGES.</li> <li>e. AIRFLOW FOR WHOLE HOUSE EXHAUST FAN SHALL BE PROVIDED BY UNDERCUTTING INTERIOR DOORS 1/2" ABOVE FINISHED FLOOR, TYP.</li> </ul> </li> </ul>
PLUMBING FIXTURES:	ALL PLUMBING FIXTURES SHALL CONFORM TO RCW 19.27.170ALL TOILETS 1.6 GPM MAXURINALS 1.0 GPF MAXSHOWERHEADS <1.75 GPM

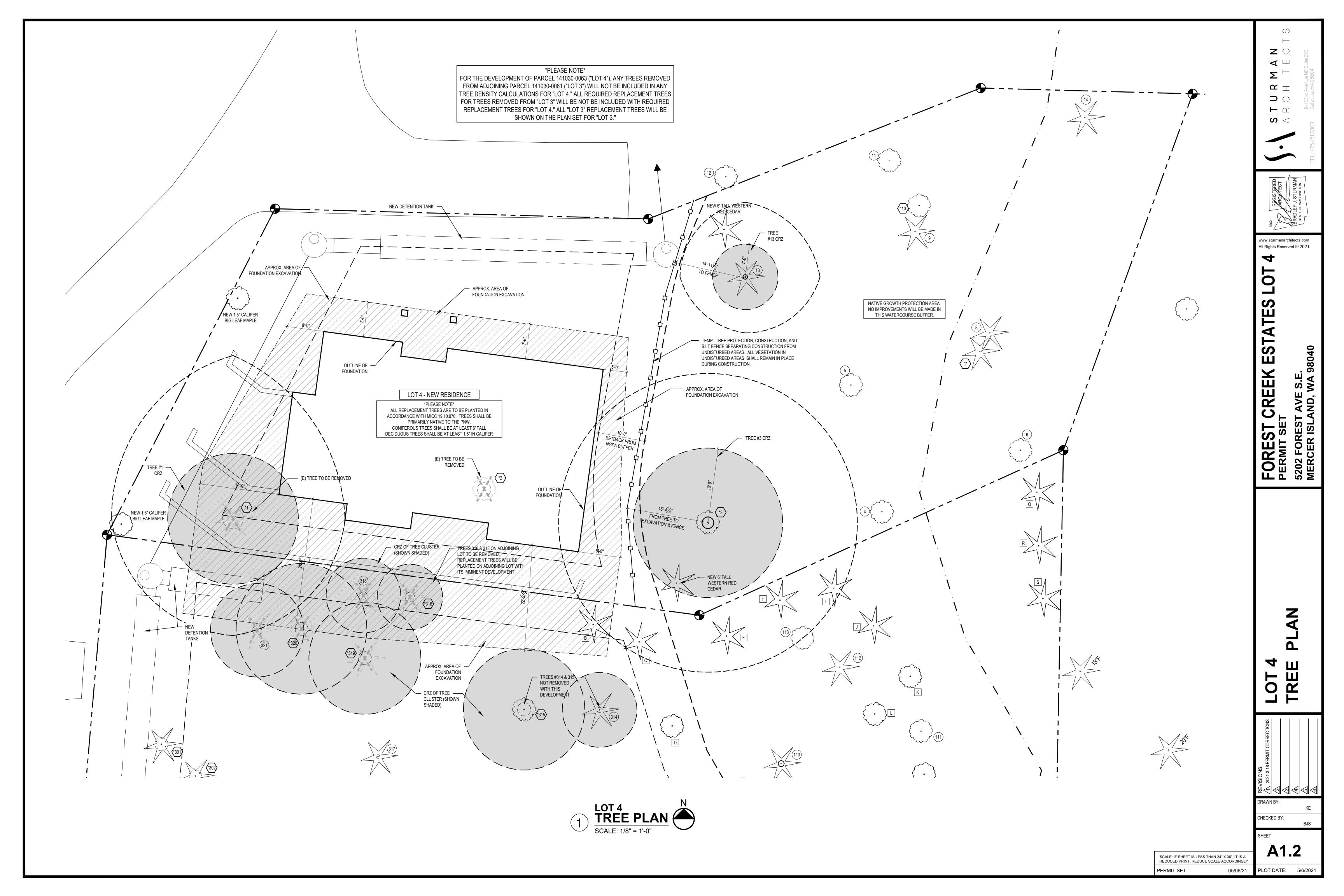
PROJECT DATA	GROSS FLOOR AREA	LOT COVERAGE (IMPERVIOUS AREA)
PROJECT ADDRESS:5202 FOREST AVE SE MERCER ISLAND 98040PROPERTY TAX ID NUMBER:141030-0063SCOPE OF WORK:CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE, 3 STORIES, WITH PARTIALLY BURIED MAIN FLOOR SHOP; CONSTRUCTION OF A SERIES OF RETAINING WALLS TO CREATE FLAT TERRACES IN (E) HILLSIDE;ZONING:R-15CONSTRUCTION TYPE:TYPE V BSEISMIC ZONE:3NUMBER OF STORIES:2 STORIES + WALK-OUT BASEMENTFIRE PROTECTION:FIRE SPRINKLERSBUILDING HEIGHTMAX. 30 FT ABOVE AVERAGE BUILDING ELEV.GROSS FLOOR AREA12,000 SF OR 40 % LOT AREA, WHICHEVER IS LESSLOT AREA:16,396 SF	BASEMENT EXCLUSIONNEW FLOOR AREALOWER FLOOR829 SFMAIN FLOOR1761 SFUPPER FLOOR1689 SFGARAGE1435 SFGROSS FLOOR5714 SFMET LOT AREA16,396 SFALLOWED MAX. % GFA COVERAGE40.0 %ALLOWED GROSS FLOOR AREA6,558.4 SFPROPOSED GROSS FLOOR AREA5714 SFSTAIR MODIFIER X 2±103 X 2= 206 SF	Image: Stress of the stress
SETBACKS: SIDE: 15' TOTAL, MIN. 5' REAR: 10' FROM 60' NGPA BUFFER	AREA OF 2-STORY SPACE+300 SFTOTAL GFA COVERAGE6,220 SFPROPOSED % GFA COVERAGE37.9 %	PROPOSED HOUSE:         932 SF         1864 SF         2093 SF         4889 SF         1435 SF         6324 SF         329 SF
PROJECT TEAM         OWNER:       CONTRACTOR:         SEASCAPE HOMES, LLC       SEASCAPE HOMES, LLC         PO BOX 40568       PO BOX 40568         BELLEVUE, WA 98015       BELLEVUE, WA 98015	CUT/FILL	1 FOREST CREEK PLAT <sup>5</sup> SITE PLAN SCALE: 1:20 SCALE: 1:20
PHONE: 206.972.9950       PHONE: 206.972.9950         CONTACT: JON TELLEFSON       CONTACT: JON TELLEFSON         ARCHITECT:       STRUCTURAL:         STURMAN ARCHITECTS, INC.       LONGITUDE120 ENGINEERING         9 - 103RD AVE NE SUITE 203       -	TREE PROTECTION IS REQUIRED BEFORE START OF WORK	ENSTING ASPHALT DRIVE
BELLEVUE, WA 98004 - PHONE: 425.451.7003 PHONE: 206.790.9502 CONTACT: BRAD STURMAN CONTACT: MANS THURFJELL	A1.0 COVER SHEET - GENERAL & ENERGY NOTES, LEGAL,	FRONT 20:0" LOT 4
LEGAL DESCRIPTION LOTS 1-4, KNUTSON SHORT PLAT, MERCER ISLAND SHORT PLAT NO SUB07-003 AS RECORDED UNDER REC. NO. 20071210900010. CARRS LAKE SIDE ADD "LOT 4" MERCER ISLAND SHORT PLAT NO SUB07-003 REC NO 20071210900010 SD SHORT PLAT DAF - LOTS 12, 13, 14, 15, 16, 17 AND 18 OF CARR'S LAKE SIDE ADDITION PLAT LESS THE EAST 72.00 FT OF LOTS 12, 13, 14, AND 15 & ALSO LESS POR LY SOUTH OF A LN DRWN PLW AND 50.00 FT SOUTH OF WHEN MEAS AT R/A TO NORTH LN OF LOTS 15-16-17 AND 18 PLAT LOT: 12 THRU 18	PROJECT DATA, CUT-FILL CALC, INDEX, SITE PLAN A1.1 FULL SITE PLAN A1.2 TREE PLAN SURVEY C1.0 SITE, GRADING, STORM & UTILITY PLAN C1.1 STORM DETAILS C1.2 WATER DETAILS C2.0 TESC PLAN C2.1 TESC DETAILS A2.0 LOWER FLOOR PLAN A2.1 MAIN FLOOR PLAN	5 S S S S S S S S S S S S S
<b>2015 WSEC CREDITS</b> PROJECT IS A NEW RESIDENCE GREATER THAN 5,000 SQ FT CONDITIONED AREA, AND SO IS A LARGE DWELLING UNIT REQUIRING 4.5 CREDITS         CREDITS         DESCRIPTION	<ul> <li>A2.2 UPPER FLOOR</li> <li>A2.3 ROOF PLAN</li> <li>A3.0 EXTERIOR ELEVATIONS</li> <li>A3.1 EXTERIOR ELEVATIONS</li> <li>A4.0 BUILDING SECTIONS</li> <li>A4.1 BUILDING SECTIONS</li> <li>A4.2 BUILDING SECTIONS</li> <li>A5.0 WALL SECTIONS</li> <li>A6.0 ARCHITECTURAL DETAILS</li> <li>A6.1 ARCHITECTURAL DETAILS</li> <li>S-0 COVER SHEET</li> </ul>	$\begin{bmatrix} & & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & & \\ & & & & & & \\ & & $
1.03a*HIGH EFFICIENCY HVAC EQUIPMENT-GAS FURNACE W/ MIN. AFUE OF 94%1.03b*AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 9.01.04*HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM 0.50.55A*EFFICIENT WATER HEATING: SHOWERHEAD & KITCHEN SINK FAUCETS $\leq$ 1.75 GPM; ALL OTHER LAVATORIES $\leq$ 1.0 GPM OR LESS.1.05B*EFFICIENT WATER HEATING: GAS WATER HEATER W/ MIN. EF OF 0.74TOTAL CREDITS 4.5	<ul> <li>S-0 COVER SHEET</li> <li>S-1 STRUCTURAL GENERAL NOTES</li> <li>S-2 FOUNDATION PLAN</li> <li>S-3 FIRST FLOOR WALL FRAMING &amp; SHEAR WALL PLAN</li> <li>S-4 SECOND FLOOR FRAMING PLAN</li> <li>S-5 SECOND FLOOR WALL FRAMING &amp; SHEAR WALL PLAN</li> <li>S-6 THIRD FLOOR FRAMING PLAN</li> <li>S-7 THIRD FLOOR WALL FRAMING &amp; SHEAR WALL PLAN</li> <li>S-8 THIRD FLOOR CEILING FRAMING PLAN</li> <li>S-9 ROOF FRAMING PLAN</li> <li>S-9 ROOF FRAMING PLAN</li> <li>SD-1 STRUCTURAL DETAILS</li> <li>SD-3 STRUCTURAL DETAILS</li> </ul>	
DUTY OF COOPERATION	A.B.E.	
<text></text>	A         4.83         110.0         531.3           B         13.75         107.5         1478.125           C         17.04         107.0         1823.28           D         3         107.0         321           E         9.71         107.0         1038.97           F         3         107.0         321           G         33.67         107.0         3602.69           H         39.42         107.8         4247.505           I         19.92         115.5         2300.76           J         3.5         116.0         406           K         16.42         115.5         1896.51           L         3.5         117.0         409.5           M         14.17         118.0         1672.06           N         3.5         118.0         413           O         14.75         118.5         1747.875           P         22.17         115.0         2549.55           L         222.35         1793.8         24759.125           24759.125         111.35         Elevation         222.35	LOT 2

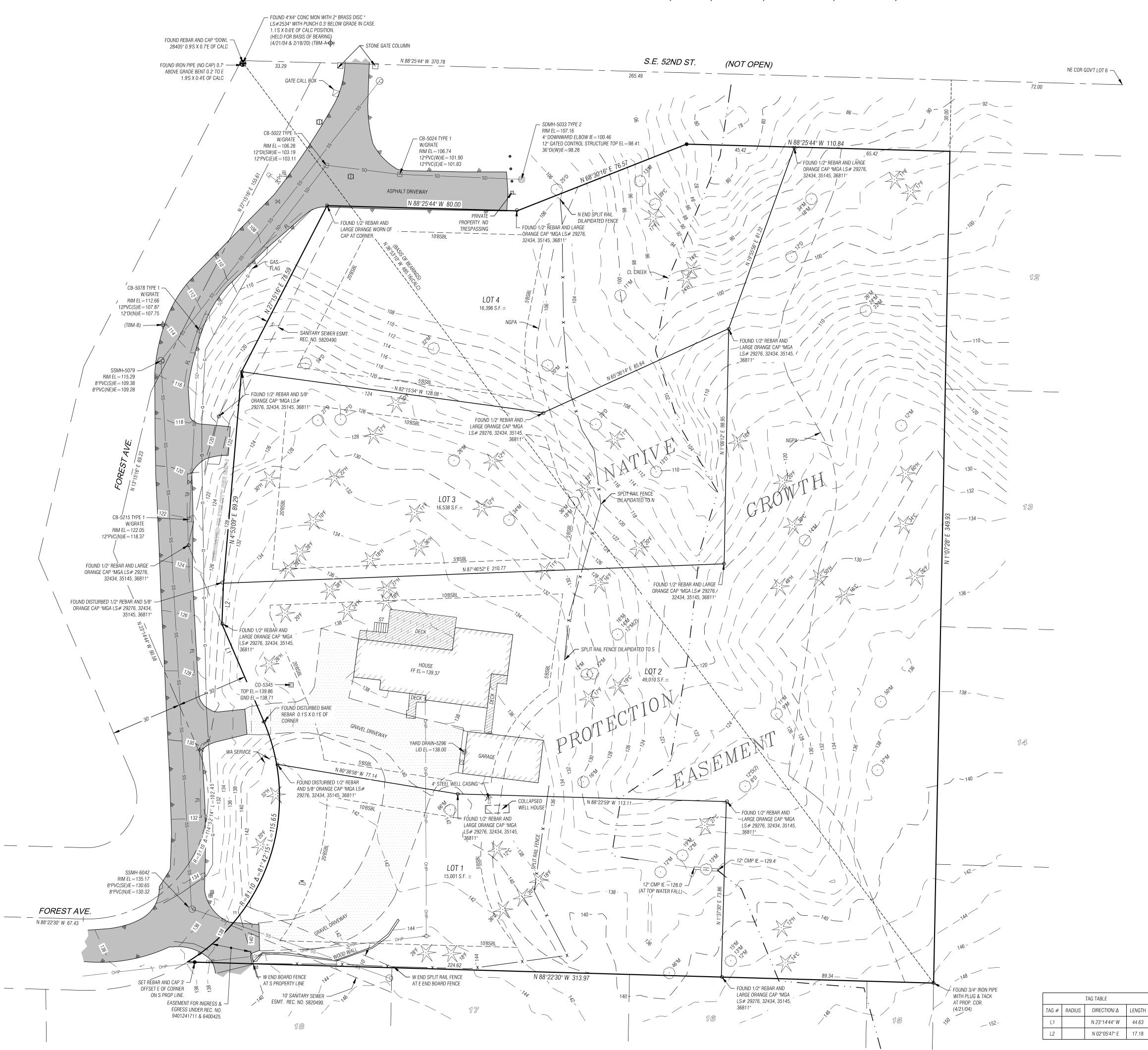
PROJECT DATA	GROSS FLOOR AREA	LOT COVERAGE (IMPERVIOUS AREA)
PROJECT ADDRESS: 5202 FOREST AVE SE MERCER ISLAND 98040	BASEMENT NEW FLOOR EXCLUSION AREA	GROSS MAIN ROOF DRIVES/ TOTAL LOT % LOT LOT S.F. STRUCT PARKING COVERAGE COVERAGE PAD WALK WALLS HARDSCAPE
PROPERTY TAX ID NUMBER: 141030-0063 SCOPE OF WORK: CONSTRUCTION OF NEW SINGLE FAMILY	LOWER FLOOR     829 SF       MAIN FLOOR     1761 SF	LOT S.F.     STRUCT     PARKING     COVERAGE     COVERAGE     PAD     WALK     WALLS     HARDSCAPE       EXISTING IMPERVIOUS AREA     16,396 SF     0 SF     0 SF     0 SF     0 %     0 SF     0 SF     0 SF     0 SF
RESIDENCE, 3 STORIES, WITH PARTIALLY BURIED MAIN FLOOR SHOP; CONSTRUCTION OF A SERIES OF RETAINING WALLS TO CREATE FLAT	UPPER FLOOR 1689 SF	IMPERVIOUS AREA         3008 SF         685 SF         3693 SF         22.5 %         97 SF         76 SF         141 SF         314 SF
TERRACES IN (E) HILLSIDE; ZONING: R-15	GARAGE 1435 SF	NET GAIN/LOSS         +3008 SF         +685 SF         +3693 SF         +22.5 %         +97 SF         +76 SF         +141 SF         +314 SF
CONSTRUCTION TYPE: TYPE V B SEISMIC ZONE: 3	GROSS FLOOR AREA 5714 SF	% ALLOWED IMPERVIOUS AREA 5738.6 SF ALLOWABLE 35 %
NUMBER OF STORIES: 2 STORIES + WALK-OUT BASEMENT	NET LOT AREA 16,396 SF ALLOWED MAX. % GFA COVERAGE 40.0 %	
FIRE PROTECTION:FIRE SPRINKLERSBUILDING HEIGHTMAX. 30 FT ABOVE AVERAGE BUILDING ELEV.	ALLOWED GROSS FLOOR AREA 6,558.4 SF PROPOSED GROSS FLOOR AREA 5714 SF	BUILDING AREA
GROSS FLOOR AREA12,000 SF OR 40 % LOT AREA, WHICHEVER IS LESSLOT AREA:16,396 SF	STAIR MODIFIER X 2         +103 X 2= 206 SF	LOWER FLOOR MAIN FLOOR UPPER FLOOR HEATED GARAGE/ GRAND TOTAL UNHEATED SUB-TOTAL WORKSHOP DECKS
SETBACKS: FRONT: 20' SIDE: 15' TOTAL, MIN. 5'	AREA OF 2-STORY SPACE+300 SFTOTAL GFA COVERAGE6,220 SF	PROPOSED HOUSE:         932 SF         1864 SF         2093 SF         4889 SF         1435 SF         6324 SF         329 SF
REAR: 10' FROM 60' NGPA BUFFER	PROPOSED % GFA COVERAGE 37.9 %	$/$ NL $\backslash'$
PROJECT TEAM	CUT/FILL	FOREST CREEK PLAT <sup>5</sup> $\bigwedge^{N}$ SITE PLAN
OWNER: CONTRACTOR:		SCALE: 1:20
SEASCAPE HOMES, LLCSEASCAPE HOMES, LLCPO BOX 40568PO BOX 40568		EXISTING ASPHALT DRIVE
BELLEVUE, WA 98015         BELLEVUE, WA 98015           PHONE: 206.972.9950         PHONE: 206.972.9950           CONTACT: JON TELLEFSON         CONTACT: JON TELLEFSON	TREE PROTECTION	
ARCHITECT: STRUCTURAL:	A TREE PROTECTION INSPECTION IS REQUIRED BEFORE START OF WORK	ENSTING ASPHAL DRIVE
STURMAN ARCHITECTS, INC. LONGITUDE120 ENGINEERING 9 - 103RD AVE NE SUITE 203 -	BEFORE START OF WORK	
BELLEVUE, WA         98004         -           PHONE:         425.451.7003         PHONE:         206.790.9502           CONTACT:         BRAD STURMAN         CONTACT:         MANS THURFJELL	SHEET INDEX	ENST. BUFFER
	A1.0 COVER SHEET - GENERAL & ENERGY NOTES, LEGAL,	55 FRONT 20.0" LOT 4
EGAL DESCRIPTION	PROJECT DATA, CUT-FILL CALC, INDEX, SITE PLAN A1.1 FULL SITE PLAN	
LOTS 1-4, KNUTSON SHORT PLAT, MERCER ISLAND SHORT PLAT NO SUB07-003 AS RECORDED UNDER REC. NO. 20071210900010.	A1.2 TREE PLAN SURVEY	55 NATIVE GROW PROTECTION A BUFFER
CARRS LAKE SIDE ADD "LOT 4" MERCER ISLAND SHORT PLAT NO SUB07-003 REC NO 20071210900010 SD SHORT PLAT DAF - LOTS 12, 13, 14, 15, 16, 17 AND 18 OF	C1.0 SITE, GRADING, STORM & UTILITY PLAN C1.1 STORM DETAILS	
CARR'S LAKE SIDE ADDITION PLAT LESS THE EAST 72.00 FT OF LOTS 12, 13, 14, AND 15 & ALSO LESS POR LY SOUTH OF A LN DRWN PLW AND 50.00 FT SOUTH OF	C1.2 WATER DETAILS C2.0 TESC PLAN C2.1 TESC DETAILS	BUFFER UTHERFORM UTH
WHEN MEAS AT R/A TO NORTH LN OF LOTS 15-16-17 AND 18 PLAT LOT: 12 THRU 18	A2.0 LOWER FLOOR PLAN A2.1 MAIN FLOOR PLAN	
2015 WSEC CREDITS	A2.2 UPPER FLOOR A2.3 ROOF PLAN	
	A3.0 EXTERIOR ELEVATIONS A3.1 EXTERIOR ELEVATIONS A4.0 BUILDING SECTIONS	
PROJECT IS A NEW RESIDENCE GREATER THAN 5,000 SQ FT CONDITIONED AREA, AND SO IS A LARGE DWELLING UNIT REQUIRING 4.5 CREDITS	A4.1 BUILDING SECTIONS A4.2 BUILDING SECTIONS A5.0 WALL SECTIONS	
CREDITS OPTION DESCRIPTION	A6.0 ARCHITECTURAL DETAILS A6.1 ARCHITECTURAL DETAILS	
1.0 3a *HIGH EFFICIENCY HVAC EQUIPMENT-GAS FURNACE W/ MIN. AFUE OF 94%	S-0 COVER SHEET S-1 STRUCTURAL GENERAL NOTES S-2 FOUNDATION PLAN	
1.0       3b       *AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF         9.0       9.0         1.0       4       *HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM	S-3 FIRST FLOOR WALL FRAMING & SHEAR WALL PLAN S-4 SECOND FLOOR FRAMING PLAN	
0.5 5A *EFFICIENT WATER HEATING: SHOWERHEAD & KITCHEN SINK FAUCETS < 1.75 GPM; ALL OTHER LAVATORIES < 1.0 GPM OR LESS.	S-5 SECOND FLOOR WALL FRAMING & SHEAR WALL PLAN S-6 THIRD FLOOR FRAMING PLAN S-7 THIRD FLOOR WALL FRAMING & SHEAR WALL PLAN	
1.0       5B       *EFFICIENT WATER HEATING: GAS WATER HEATER         W/ MIN. EF OF 0.74       W/ MIN. EF OF 0.74	S-8 THIRD FLOOR CEILING FRAMING PLAN S-9 ROOF FRAMING PLAN SD-1 STRUCTURAL DETAILS	
TOTAL CREDITS 4.5	SD-2 STRUCTURAL DETAILS SD-3 STRUCTURAL DETAILS	
OUTY OF COOPERATION	A.B.E.	
RELEASE AND ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, CONTRACTOR, AND STURMAN	AVERAGE BUILDING	
ARCHITECTS. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED IN THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO STURMAN ARCHITECTS. FAILURE TO	ELEVATION           Wall Length         Wall Length X           Elevation Pt.         Elev. Pt.	
DO SO WILL RELIEVE STURMAN ARCHITECTS FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES.	A         4.83         110.0         531.3           B         13.75         107.5         1478.125	
ANY DEVIATION FROM THESE DOCUMENTS WITHOUT THE CONSENT OF STURMAN ARCHITECTS IS UNAUTHORIZED. FAILURE	C         17.04         107.0         1823.28           D         3         107.0         321	
TO OBSERVE THESE PROCEDURES SHALL RELIEVE STURMAN ARCHITECTS OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING FROM SUCH ACTIONS.	E         9.71         107.0         1038.97           F         3         107.0         321	
	G         33.67         107.0         3602.69           H         39.42         107.8         4247.505	
ABE KEY PLAN NO SCALE	I         19.92         115.5         2300.76           J         3.5         116.0         406	
	K16.42115.51896.51L3.5117.0409.5	
17-1 <b>%</b> © 33-8*	M         14.17         118.0         1672.06           N         3.5         118.0         413	
	O         14.75         118.5         1747.875           P         22.17         115.0         2549.55	
	222.35 1793.8 24759.125	
	24759.125     111.35     Average Building Elevation	
	222.35	
18-5- 18-5- 120 1120 118 116 114 114		Non se monte

PROJECT DATA	GROSS FLOOR AREA	LOT COVERAGE (IMPERVIOUS AREA)
PROJECT ADDRESS:       5202 FOREST AVE SE MERCER ISLAND 98040         PROPERTY TAX ID NUMBER:       141030-0063         SCOPE OF WORK:       CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE, 3 STORIES, WITH PARTIALLY BURIED MAIN FLOOR SHOP; CONSTRUCTION OF A SERIES OF RETAINING WALLS TO CREATE FLAT TERRACES IN (E) HILLSIDE;	BASEMENT EXCLUSIONNEW FLOOR AREALOWER FLOOR829 SFMAIN FLOOR1761 SFUPPER FLOOR1689 SFGARAGE1435 SE	GROSS LOT S.F.MAIN ROOF STRUCTDRIVES/ PARKINGTOTAL LOT COVERAGE% LOT COVERAGETRASH PADFRONT WALKRETAINING WALSTOTAL HARDSCAPEEXISTING 
ZONING: R-15 CONSTRUCTION TYPE: TYPE V B SEISMIC ZONE: 3	GARAGE     1435 SF       GROSS FLOOR     5714 SF       AREA     16,396 SF	NET GAIN/LOSS IMPERVIOUS AREA+3008 SF+685 SF+3693 SF+22.5 %+97 SF+76 SF+141 SF+314 SF% ALLOWED IMPERVIOUS AREA5738.6 SF ALLOWABLE35 %1475.64 SFALLOWABLE
NUMBER OF STORIES:       2 STORIES + WALK-OUT BASEMENT         FIRE PROTECTION:       FIRE SPRINKLERS         Due Divide the fourth of the second state of the second	ALLOWED MAX. % GFA COVERAGE 40.0 % ALLOWED GROSS FLOOR AREA 6,558.4 SF	BUILDING AREA
BUILDING HEIGHTMAX. 30 FT ABOVE AVERAGE BUILDING ELEV.GROSS FLOOR AREA12,000 SF OR 40 % LOT AREA, WHICHEVER IS LESSLOT AREA:16,396 SF	PROPOSED GROSS FLOOR AREA         5714 SF           STAIR MODIFIER X 2         +103 X 2= 206 SF	LOWER FLOOR MAIN FLOOR UPPER FLOOR HEATED GARAGE/ GRAND TOTAL UNHEATED DECKS
SETBACKS: FRONT: 20' SIDE: 15' TOTAL, MIN. 5' REAR: 10' FROM 60' NGPA BUFFER	AREA OF 2-STORY SPACE+300 SFTOTAL GFA COVERAGE6,220 SF	PROPOSED HOUSE:         932 SF         1864 SF         2093 SF         4889 SF         1435 SF         6324 SF         329 SF
PROJECT TEAM	PROPOSED % GFA COVERAGE 37.9 %	FOREST CREEK PLAT
OWNER: CONTRACTOR:		1 SITE PLAN SCALE: 1:20
SEASCAPE HOMES, LLC         SEASCAPE HOMES, LLC           PO BOX 40568         PO BOX 40568           BELLEVUE, WA 98015         BELLEVUE, WA 98015           PHONE:         206.972.9950	TREE PROTECTION	
CONTACT:       JON TELLEFSON         ARCHITECT:       STRUCTURAL:	A TREE PROTECTION INSPECTION IS REQUIRED BEFORE START OF WORK	
STURMAN ARCHITECTS, INC.LONGITUDE120 ENGINEERING9 - 103RD AVE NE SUITE 203-BELLEVUE, WA 98004-DURNE405 455 7000BURNE-		ENSTROASTING ASTRACK
PHONE: 425.451.7003 PHONE: 206.790.9502 CONTACT: BRAD STURMAN CONTACT: MANS THURFJELL	SHEET INDEX	53 FRONT VARD SS LOT 4
LEGAL DESCRIPTION	<ul> <li>A1.0 COVER SHEET - GENERAL &amp; ENERGY NOTES, LEGAL, PROJECT DATA, CUT-FILL CALC, INDEX, SITE PLAN</li> <li>A1.1 FULL SITE PLAN</li> <li>A1.2 TREE PLAN</li> </ul>	Ser BACK
LOTS 1-4, KNUTSON SHORT PLAT, MERCER ISLAND SHORT PLAT NO SUB07-003 AS RECORDED UNDER REC. NO. 20071210900010. CARRS LAKE SIDE ADD "LOT 4" MERCER ISLAND SHORT PLAT NO SUB07-003 REC NO 20071210900010 SD SHORT PLAT DAF - LOTS 12, 13, 14, 15, 16, 17 AND 18 OF CARR'S LAKE SIDE ADDITION PLAT LESS THE EAST 72.00 FT OF LOTS 12, 13, 14, AND 15 & ALSO LESS POR LY SOUTH OF A LN DRWN PLW AND 50.00 FT SOUTH OF WHEN MEAS AT R/A TO NORTH LN OF LOTS 15-16-17 AND 18 PLAT LOT: 12 THRU 18	SURVEY C1.0 SITE, GRADING, STORM & UTILITY PLAN C1.1 STORM DETAILS C1.2 WATER DETAILS C2.0 TESC PLAN C2.1 TESC DETAILS A2.0 LOWER FLOOR PLAN	PROTECTION A BUFFER 10'-0" BUFFER BUFFER BUFFER BUFFER BUFFER BUFFER BUFFER BUFFER BUFFER BUFFER BUFFER BUFFER BUFFER BUFFER
2015 WSEC CREDITS	A2.1 MAIN FLOOR PLAN A2.2 UPPER FLOOR A2.3 ROOF PLAN A3.0 EXTERIOR ELEVATIONS	
PROJECT IS A NEW RESIDENCE GREATER THAN 5,000 SQ FT CONDITIONED AREA, AND SO IS A LARGE DWELLING UNIT REQUIRING 4.5 CREDITS CREDITS OPTION DESCRIPTION	<ul> <li>A3.1 EXTERIOR ELEVATIONS</li> <li>A4.0 BUILDING SECTIONS</li> <li>A4.1 BUILDING SECTIONS</li> <li>A4.2 BUILDING SECTIONS</li> <li>A5.0 WALL SECTIONS</li> <li>A6.0 ARCHITECTURAL DETAILS</li> <li>A6.1 ARCHITECTURAL DETAILS</li> </ul>	
$1.0$ $3a$ *HIGH EFFICIENCY HVAC EQUIPMENT-GAS FURNACE W/ MIN. AFUE OF 94% $1.0$ $3b$ *AIR SOURCE HEAT PUMP WITH MINIMUM HSPF OF 9.0 $1.0$ $4$ *HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM 0.5 $0.5$ $5A$ *EFFICIENT WATER HEATING: SHOWERHEAD & KITCHEN SINK FAUCETS $\leq 1.75$ GPM; ALL OTHER LAVATORIES $\leq 1.0$ GPM OR LESS. $1.0$ $5B$ *EFFICIENT WATER HEATING: GAS WATER HEATER W/ MIN. EF OF 0.74TOTAL CREDITS $4.5$	<ul> <li>S-0 COVER SHEET</li> <li>S-1 STRUCTURAL GENERAL NOTES</li> <li>S-2 FOUNDATION PLAN</li> <li>S-3 FIRST FLOOR WALL FRAMING &amp; SHEAR WALL PLAN</li> <li>S-4 SECOND FLOOR FRAMING PLAN</li> <li>S-5 SECOND FLOOR WALL FRAMING &amp; SHEAR WALL PLAN</li> <li>S-6 THIRD FLOOR FRAMING PLAN</li> <li>S-7 THIRD FLOOR WALL FRAMING &amp; SHEAR WALL PLAN</li> <li>S-8 THIRD FLOOR CEILING FRAMING PLAN</li> <li>S-9 ROOF FRAMING PLAN</li> <li>SD-1 STRUCTURAL DETAILS</li> <li>SD-3 STRUCTURAL DETAILS</li> </ul>	
DUTY OF COOPERATION	A.B.E.	
<text><text><text></text></text></text>	AVERAGE BULLDING LEVATIONimage: image: imag	LOT 2

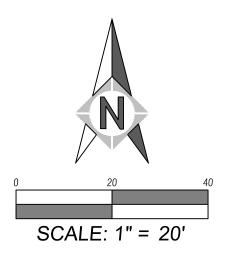








## SE1/4, NE1/4, SEC. 24, TWP. 24 N., RGE. 4 E., W.M.



#### MERIDIAN

STATE PLANE COORDINATE SYSTEM - NORTH ZONE NAD83 (2011) BASED ON RAPID STATIC GPS MEASUREMENTS WITH OPUS SOLUTION.

VERTICAL DATUM

NAVD 88 (GEOID 18) BASED ON RAPID STATIC GPS MEASUREMENTS WITH OPUS SOLUTION. BENCHMARKS

## TBM-A

FOUND 4"X4" CONC MON WITH 2" BRASS DISC " LS#2534" WITH PUNCH 0.3' BELOW GRADE IN CASE 69.6' NW OF NW PROP CORNER. ELEV. = 104.53'

#### TBM-B

FOUND 1/2" REBAR AND MGA CONTROL CAP AT W SIDE FOREST DRIVE , 0.5'W OF WEST EDGE ASPHALT PAVEMENT AND 15.5'W OF CB-5078 . ELEV. = 113.94'

#### NOTE

- A 5" ELECTRONIC TOTAL STATION WAS USED FOR THIS FIELD TRAVERSE SURVEY. ALL EQUIPMENT HAS BEEN MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES. ACCURACY MEETS OR EXCEEDS W.A.C. 332-130-090.
- 2. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.
- 3. THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME. ALL CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN FEBRUARY 18, 2020, UNLESS OTHERWISE NOTED.
- 4. UNDERGROUND UTILITIES WERE LOCATED BASED ON SURFACE EVIDENCE (I.E. PAINT MARKS, SAW CUTS IN PAVEMENT, COVERS, LIDS, ETC.). THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, ELEVATION, AND SIZE OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- TREE SIZES AND SPECIES WERE DETERMINED TO THE BEST OF OUR ABILITY. MEAD GILMAN AND ASSOCIATES DOES NOT WARRANT THE ACCURACY OF THE SIZE AND SPECIES OF ANY TREES SHOWN HEREON, ALL TREE SIZES SHOULD BE VERIFIED BY A TRAINED ARBORIST.
- 6. THIS MAP DOES NOT TO INTEND SHOW ALL EASEMENTS OF RECORD.
- CONTOUR INFORMATION EAST OF WEST LINE OF NGPA BUFFER AND FENCE RUNNING NORTH-SOUTH AND ALSO SOUTH OF SOUTH PROPERTY LINE WAS DELIVERED FROM KING COUNTY LIDAR

#### LEGAL DESCRIPTION

LOTS 1-4, KNUTSON SHORT PLAT, MERCER ISLAND SHORT PLAT NO SUB07-003 AS RECORDED UNDER REC. NO. 20071210900010.

#### REFERENCES

# ROS REC. NO. 20071210001864, VOL. 236, PG. 232. MERCER ISLAND SHORT PLAT NO SUB07-003, REC. NO. 2007121090001.

LEGEND	
•	SET 1/2" X 24" REBAR WITH YELLOW PLASTIC CAP STAMPED "MGA 35145 48383"

0	FOUND CORNER
<b>Ð</b>	FOUND MONUMENT
<del>-</del>	TEMPORARY BENCHMARK
Ø	GAS VALVE
$\square$	ELECTRICAL JUNCTION BOX
-0-	UTILITY POLE
	CATCH BASIN - TYPE I
0	CATCH BASIN - TYPE II
Ø	STORM CLEANOUT
0	YARD DRAIN
0	SEWER MANHOLE
Q	FIRE HYDRANT
ふ	HOSE BIB
⊞	WATER METER
$\bowtie$	WATER VALVE
0	BOLLARD
П	SIGN
•	SOIL TEST PIT
	CONIFEROUS TREE
$\mathbb{C}$	DECIDUOUS TREE
2 - X OHP SS SD - G - W	ASPHALT FENCE LINE OVERHEAD POWER LINES SANITARY SEWER LINE STORM DRAIN LINE GAS LINE WATER MAIN
	ASPHALT HATCH
	CONCRETE HATCH
	DECK HATCH
	GRAVEL HATCH
C D E	CEDAR DECIDUOUS ELM

ELM HEMLOCK MAPLE

CS

CONC SLAB FINISH FLOOR FLOW LINE/ ASPH THICKENED EDGE STAIRS



## PROJECT TEAM

OWNER: SEASCAPE HOMES LLC JON TELLEFSON PO BOX 40568 BELLEVUE, WA 98015 PH: 206.972.9950 EMAIL: JMT1231@GMAIL.COM

ARCHITECT STURMAN ARCHITECTS BRAD STURMAN 9 – 103RD AVENUE NE SUITE 203 BELLEVUE, WA 98004 PH. 425.451.7003 EMAIL: BRADS@STURMANARCHITECTS.COM

**PROJECT ENGINEER:** PATRICK HARRON & ASSOCIATES, LLC SCHWIN CHAOSILAPAKUL, PE 14900 INTERURBAN AVENUE S #279 SEATTLE, WA 98168 PH: 206.674.4659 EMAIL: SCHWIN@PATRICKHARRON.COM

<u>PROJECT SURVEYOR:</u> MEAD GILMAN LAND SURVEYORS P.O. BOX 289 WOODINVILLE, WA 98072 PH. 425.486.1252 EMAIL: WWW.MEADGILMAN.COM

GEOTECH CONSULTANTS INC JIM STRANGE, P.E. 2401 10TH AVE E, SEATTLE, WA 98102 PH: 425.747.5618 EMAIL: JAMESS@GEOTECHNW.COM

ARBORIST: ARBOR INFO, LLC THOMAS M. HANSON, CF, RCA 2406 N CASTLE WAY BRIER, WA 98036 PH: 206.300.9711 EMAIL: TOM.HANSON@ARBORINFO.COM

## PROJECT INFORMATION

#### DEVELOPMENT DATA:

SITE AREA SITE ADDRESS PARCEL NUMBER

16,396 SF (0.376 AC) 5202 FOREST AVE SE MERCER ISLAND, WA 98040 141030–0063

LEGAL DESCRIPTION LOTS 1-4, KNUTSON SHORT PLAT, MERCER ISLAND SHORT PLAT NO SUB07-003 AS RECORDED UNDER REC. NO. 20071210900010.

## VERTICAL DATUM

NAVD 88 (GEOID 18) BASED ON RAPID STATIC GPS MEASUREMENTS WITH OPUS SOLUTION.

#### BENCHMARKS

TBM—A FOUND 4"X4" CONC MON WITH 2" BRASS DISC " LS#2534" WITH PUNCH 0.3' BELOW GRADE IN CASE 69.6' NW OF NW PROP CORNER. ELEV. = 104.53'

#### TBM—B

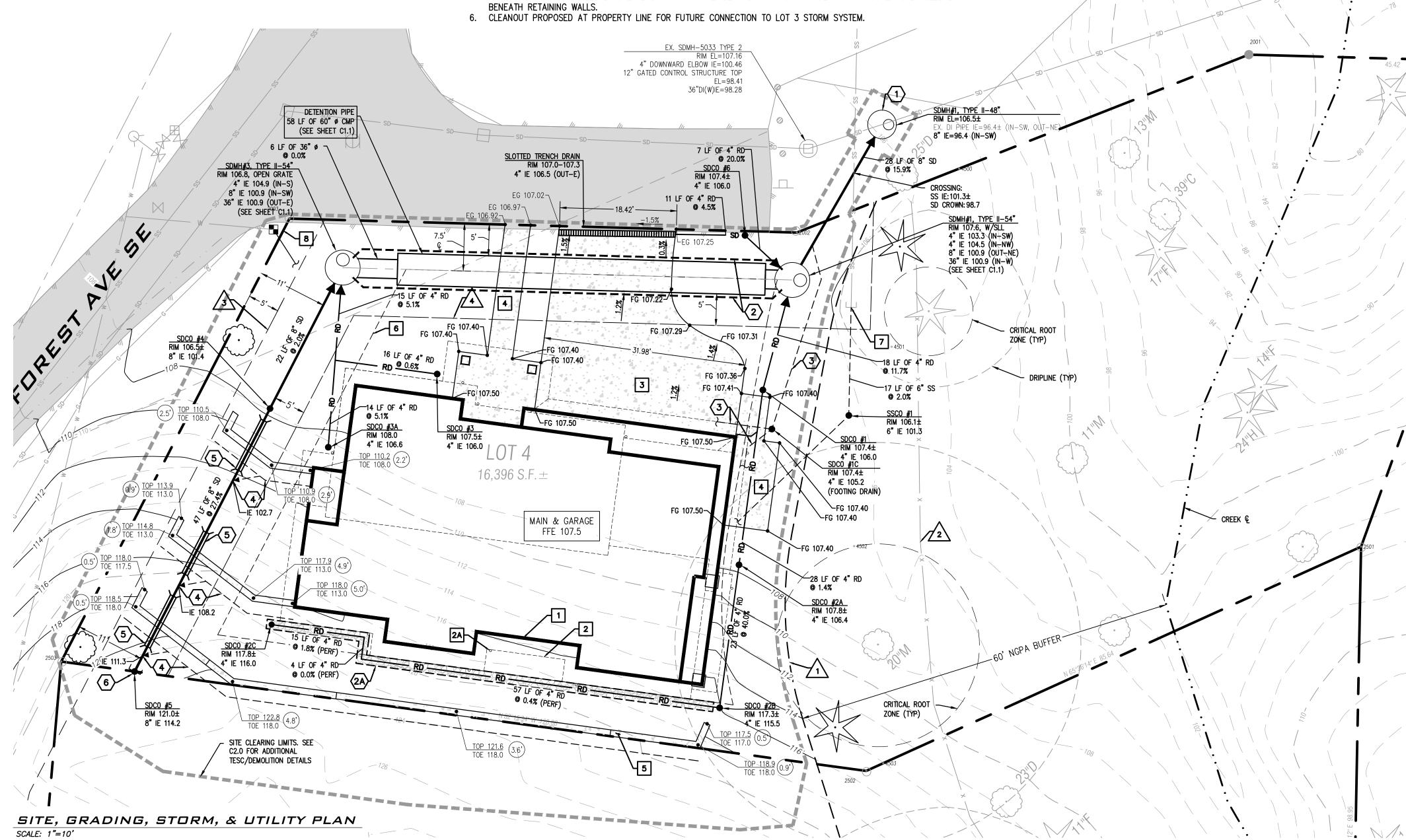
FOUND 1/2" REBAR AND MGA CONTROL CAP AT W SIDE FOREST DRIVE , 0.5'W OF WEST EDGE ASPHALT PAVEMENT AND 15.5'W OF CB-5078 . ELEV. = 113.94'

BASIS OF BEARINGS NOT DONE YET

- SANITARY SEWER EASEMENT REC.NO. 5820490.
- BUILDING FOOTPRINT.
- ROOF LINE. . ROOF DOWNSPOUT (TYP)
- CONCRETE DRIVEWAY. CONCRETE HARDSCAPE.
- CAST IN PLACE RETAINING WALL (TYP).
- BUILDING SETBACK LINE (TYP).

# $\langle \# \rangle$ STORM CALLOUTS:

- PIPE UNKNOWN).
- 2A. COLLECTION TRENCH PER DETAIL 1 ON C1.1.



: 23 est 2021

# FOREST CREEK ESTATES LOT 4 SE1/4, NE1/4, SEC. 24, TWP. 24 N., RGE. 4 E., W.M.

## CRITICAL AREAS AND EASEMENT CALLOUTS:

NATIVE GROWTH PROTECTION AREA (NGPA) BUFFER. ALL UTILITIES MUST REMAIN OUTSIDE OF NGPA BUFFER. OVER EXCAVATION FOR DETENTION PIPES SHALL NOT ENCROACH INTO AREA. EXISTING NGPA SPLIT-RAIL FENCE WITH SIGNAGE. FENCE TO BE REPAIRED IF REQUIRED.

PROPOSED PRIVATE STORM EASEMENT IN BENEFIT OF LOTS 1-3.

| # | SITE, WATER, & SEWER CALLOUTS:

CONNECT NEW 6" SEWER LINE WITH CLEANOUT TO EX. 6" SEWER STUB AT APPROX. IE 101.0±. PROVIDE MINIMUM OF 2% SLOPE AND CONNECT TO RESIDENCE AT APPROX. IE 101.9± PER CITY OF MERCER ISLAND DETAILS. COORDINATE WITH PUBLIC WORKS INSPECTOR FOR SCOPE AND RE-USE OF EXISTING LINE. 8. NEW WATER METER REQUIRED, CAN BE SAME LOCATION AS EXISTING. SIZE OF METER AND LINE TO BE VERIFIED FOR DOMESTIC AND FIRE SERVICE DEMANDS. MINIMUM 1" WATER METER AND 1.5" SUPPLY LINE (FROM METER TO HOUSE) FOR DOMESTIC AND FIRE SYSTEM. DOUBLE DETECTOR CHECK VALVE ASSEMBLY TO BE PROVIDED AS REQUIRED. IF NEW SERVICE CONNECTION TO THE MAIN IS REQUIRED, NEAT LINE SAW-CUT FOR WATER LINE TRENCHING AND RESTORE PAVEMENT PER PER CITY OF MERCER ISLAND STANDARDS. SEE SHEET C1.2.

1. NEW CATCH BASIN PROPOSED, CONNECT TO EXISTING OUTFALL STORM PIPE (EXACT DIAMETER AND ELEVATION OF

PERIMETER DRAIN - 4" PERF. SD @ 0.0%, 4" IE 105.2. CONNECT TO CB#2 & CB#3.

3. 4" FOOTING DRAIN SYSTEM TO EXTEND AROUND BUILDING PERIMETER. LOWEST IE TO BE 105.2. CONNECT TO 8" STORM SYSTEM ONSITE PER PLAN @ 2% MIN. REFER TO STRUCTURAL PLANS FOR FOOTING DRAIN DETAILS. 4. 4" PERFORATED WALL FOOTING DRAIN SYSTEM TO CONNECT TO 8" STORM SYSTEM AT 2% MIN. AT APPROXIMATE LOCATION SHOWN. REFER TO STRUCTURAL PLANS FOR WALL FOOTING DRAIN DETAILS.

5. 15" DIA. D.I. OR C900 SLEEVE TO EXTEND AT MINIMUM 2' BEYOND FOOTING. PROVIDE 1.5' MIN. COVER OVER SLEEVE

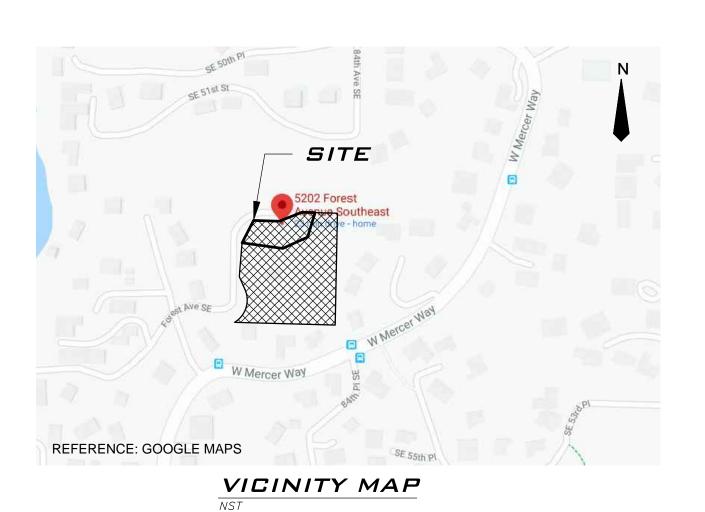
ABBREVIATIONS: APPROXIMATELY

NE COT SBL SBL SS PF TE CG L X	APPROXIMATELY A VENUE BOTTOM OF CURB BOTTOM BUILDING SETBACK CEDAR CATCH BASIN CONC SLAB DECIDUOUS DRAINFIELD DOWN-TURNED ELBOW ELM / EAST EXISTING GRADE ELEVATION EXISTING DRAIN FINISH FLOOR FINISH FLOOR FINISH GRADE	SDMH SLL SS SSCO SSMH ST SY	ROOF DRAIN REAR YARD SOUTH STORM DRAIN CLEANOUT STORM DRAIN MANHOLE SOLID LOCKING LID SANITARY SEWER SANITARY SEWER CLEANOUT SANITARY SEWER MANHOLE STAIRS SIDE YARD
TX D F G C TY I I P	FOOTING DRAIN	ST	SIDE YARD TRENCH DRAIN

#### IMPERVIOUS AREA INVENTORY:

Description	Impervious Area Inventory (sf)										
Description	Roof, Drive, and HS	Walls	Offsite	Total							
Lot 4	3,866	141	0	4,007							
Lot 3*	5,007	93	253	5,353							
Total	8.873	234	253	9.360							

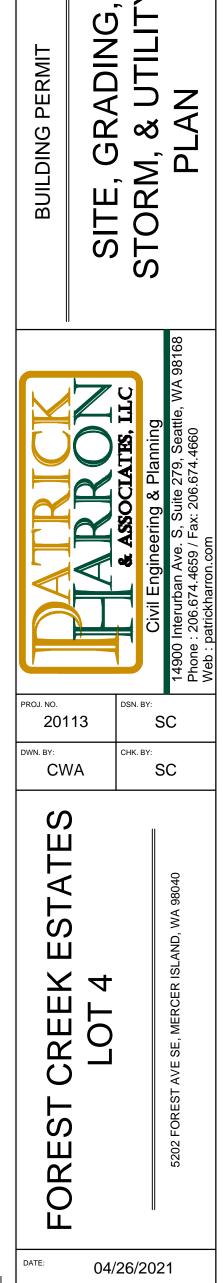
\*Detention System sized to accommodate future improvements on Lot 3



SHEET LIST SHEET # | SHEET ID | SHEET TITLE SITE, GRADING, STORM, & UTILITY PLAN C1.0 1 C1.1 STORM DETAILS 2 C1.2 WATER DETAILS - 3 C2.0 TESC PLAN 4 C2.1 TESC DETAILS 5

## LEGEND-EXISTING SITE FEATURES

SET 1/2" X 24" REBAR WITH YELLOW PLASTIC CAP STAMPED "MGA 35145 48383" FOUND CORNER FOUND MONUMENT TEMPORARY BENCHMARK GAS VALVE ELECTRICAL JUNCTION BOX UTILITY POLE CATCH BASIN - TYPE I CATCH BASIN – TYPE II STORM CLEANOUT YARD DRAIN SEWER MANHOLE FIRE HYDRANT WATER METER WATER VALVE BOLLARD SIGN SOIL TEST PIT CONIFEROUS TREE DECIDUOUS TREE ASPHALT FENCE LINE —×— OVERHEAD POWER LINES - OHP ----SANITARY SEWER LINE STORM DRAIN LINE — SD — GAS LINE — G — WATER MAIN \_\_\_\_\_W\_\_\_\_\_ ASPHALT HATCH CONCRETE HATCH

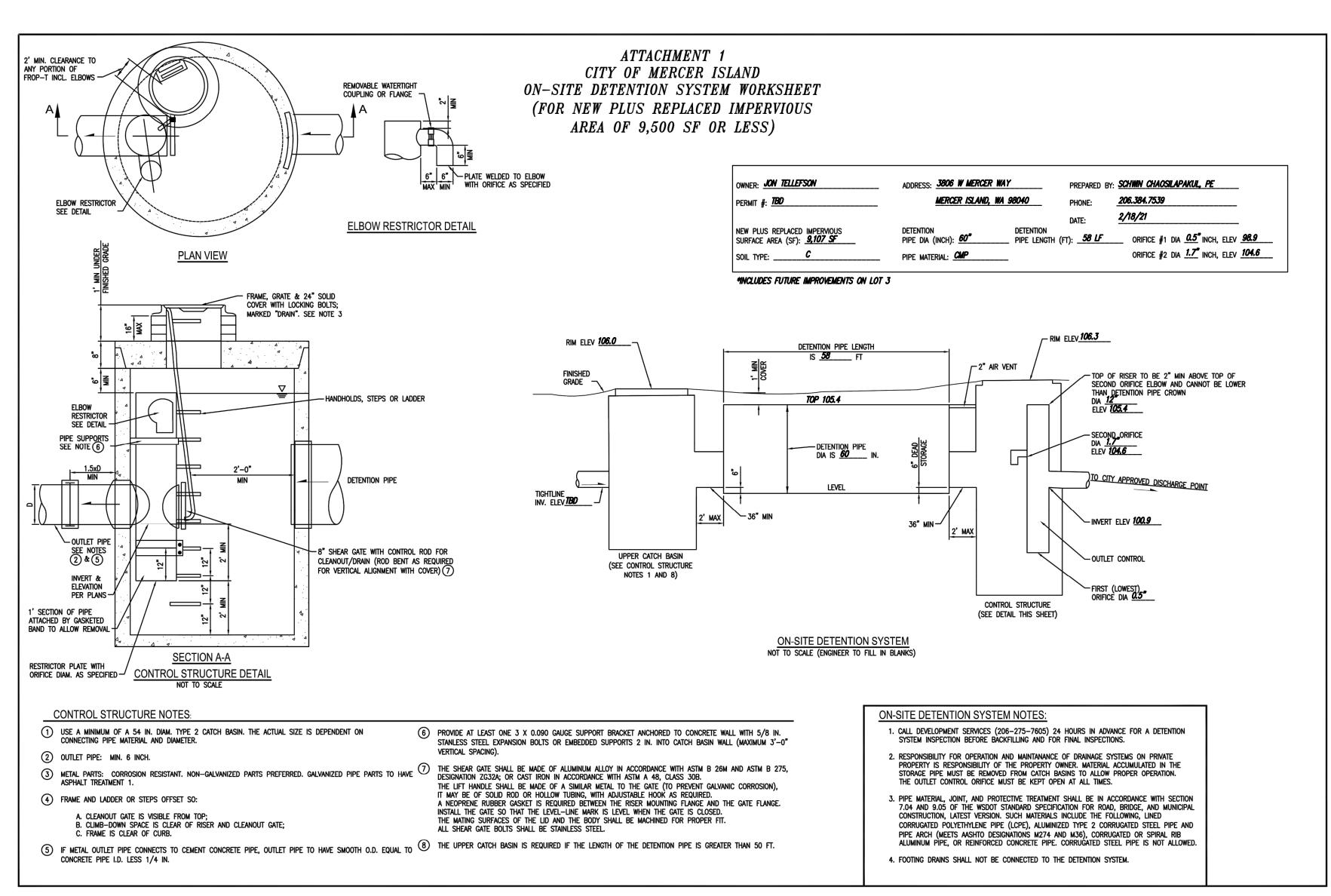


AS NOTED

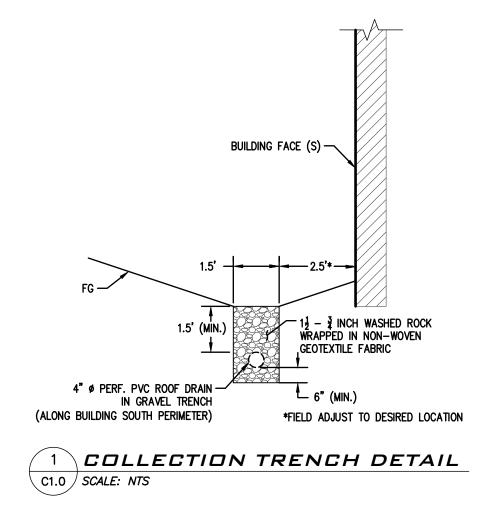
WING NO. C1.0

**1** ∘ 5

Call 48 Hours **BEFORE YOU DIG 811** 



SCALE: N/A



# FOREST CREEK ESTATES LOT 4

SE1/4, NE1/4, SEC. 24, TWP. 24 N., RGE. 4 E., W.M.

			Та	able 1							
ON-SITE DETENTION DESIGN FOR PROJECTS BETWEEN 500 SF AND 9,500 SF NEW PLUS REPLACED IMPERVIOUS SURFACE AREA											
New and Replaced		Detenti Lengt	-	Lowest Diamete			Outlet Invert Orifice (ft)	Second Orifice Diameter (in)			
Impervious Surface Area (sf)	Detention Pipe Diameter (in)	B soils	C soils	B soils	C soils	B soils	C soils	B soils	C soils		
	36"	30	22	0.5	0.5	2.2	2.0	0.5	0.8		
500 to 1,000 sf	48"	18	11	0.5	0.5	3.3	3.2	0.9	0.8		
	60"	11	7	0.5	0.5	4.2	3.4	0.5	0.6		
	36"	66	43	0.5	0.5	2.2	2.3	0.9	1.4		
1,001 to 2,000 sf	48"	34	23	0.5	0.5	3.2	3.3	0.9	1.2		
	60"	22	14	0.5	0.5	4.3	3.6	0.9	0.9		
	36"	90	66	0.5	0.5	2.2	2.4	0.9	1.9		
2,001 to 3,000 sf	48"	48	36	0.5	0.5	3.1	2.8	0.9	1.5		
	60"	30	20	0.5	0.5	4.2	3.7	0.9	1.1		
	36"	120	78	0.5	0.5	2.4	2.2	1.4	1.6		
3,001 to 4,000 sf	48"	62	42	0.5	0.5	2.8	2.9	0.8	1.3		
	60"	42	26	0.5	0.5	3.8	3.9	0.9	1.3		
	36"	134	91	0.5	0.5	2.8	2.2	1.7	1.5		
4,001 to 5,000 sf	48"	73	49	0.5	0.5	3.6	2.9	1.6	1.5		
	60"	46	31	0.5	0.5	4.6	3.5	1.6	1.3		
	36"	162	109	0.5	0.5	2.7	2.2	1.8	1.6		
5,001 to 6,000 sf	48"	90	59	0.5	0.5	3.5	2.9	1.7	1.5		
	60"	54	37	0.5	0.5	4.6	3.6	1.6	1.4		
	36"	192	128	0.5	0.5	2.7	2.2	1.9	1.8		
6,001 to 7,000 sf	48"	102	68	0.5	0.5	3.7	2.9	1.9	1.6		
	60"	64	43	0.5	0.5	4.6	3.6	1.8	1.5		
	36"	216	146	0.5	0.5	2.8	2.2	2.0	1.9		
7,001 to 8,000 sf	48"	119	79	0.5	0.5	3.8	2.9	2.2	1.7		
	60"	73	49	0.5	0.5	4.5	3.6	2.0	1.6		
	36"	228	155	0.5	0.5	2.8	2.2	2.1	1.9		
8,001 to 8,500 sf <sup>(1)</sup>	48"	124	84	0.5	0.5	3.7	2.9	1.9	1.8		
	60"	77	53	0.5	0.5	4.6	3.6	2.0	1.6		
	36"	NA <sup>(1)</sup>	164	0.5	0.5	NA <sup>(1)</sup>	2.2	NA <sup>(1)</sup>	1.9		
8,501 to 9,000 sf	48"	NA <sup>(1)</sup>	89	0.5	0.5	NA <sup>(1)</sup>	2.9	NA <sup>(1)</sup>	1.9		
	60"	NA <sup>(1)</sup>	55	0.5	0.5	NA <sup>(1)</sup>	3.6	NA <sup>(1)</sup>	1.7		
	36"	NA <sup>(1)</sup>	174	0.5	0.5	NA <sup>(1)</sup>	2.2	NA <sup>(1)</sup>	2.1		
9,001 to 9,500 sf <sup>(2)</sup>	48"	NA <sup>(1)</sup>	94	0.5	0.5	NA <sup>(1)</sup>	2.9	NA <sup>(1)</sup>	2.0		
	60"	NA <sup>(1)</sup>	58	0.5	0.5	NA <sup>(1)</sup>	3.7	NA <sup>(1)</sup>	1.7		
Notes:	· · · · · · · · · · · · · · · · · · ·					•					

• Minimum Requirement #7 (Flow Control) is required when the 100-year flow frequency causes a 0.15 cubic feet per second increase (when modeled in WWHM with a 15-minute timestep). Breakpoints shown in this table are based on a flat slope (0-5%). The 100-year flow frequency will need to be evaluated on a site-specific basis for projects on moderate (5-15%) or steep (> 15%) slopes.

 Soil type to be determined by geotechnical analysis or soil map. Sizing includes a Volume Correction Factor of 120%.

Upper bound contributing area used for sizing.

<sup>(1)</sup> On Type B soils, new plus replaced impervious surface areas

exceeding 8,500 sf trigger Minimum Requirement #7 (Flow Control) <sup>(2)</sup> On Type C soils, new plus replaced impervious surface areas exceeding 9,500 sf trigger Minimum Requirement #7 (Flow Control)

<sup>(3)</sup> Minimum orifice diameter = 0.5 inches

in = inch

ft = feet

sf = square feet

Last updated 1-26-18

Sized per MR#5 in the Stormwater Management Manual for Puget Sound Basin (1992 Ecology Manual)

**Basis of Sizing Assumptions:** 

SBUH, Type 1A, 24-hour hydrograph 2-year, 24-hour storm = 2 in; 10-year, 24-hour

storm = 3 in; 100-year, 24-hour storm = 4 in

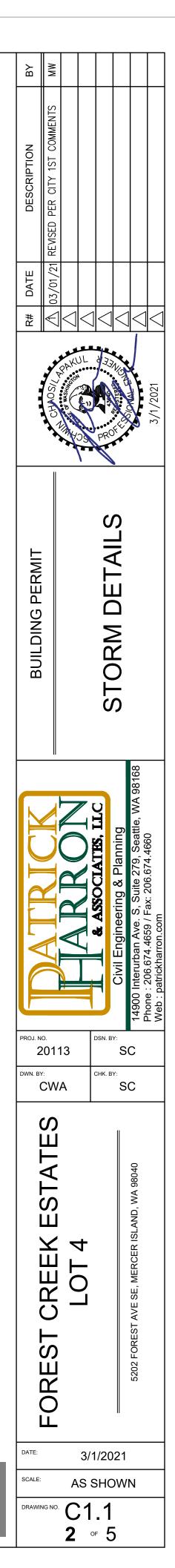
Predeveloped = second growth forest (CN = 72 for Type B soils, CN = 81 for Type C soils)

Developed = impervious (CN = 98)

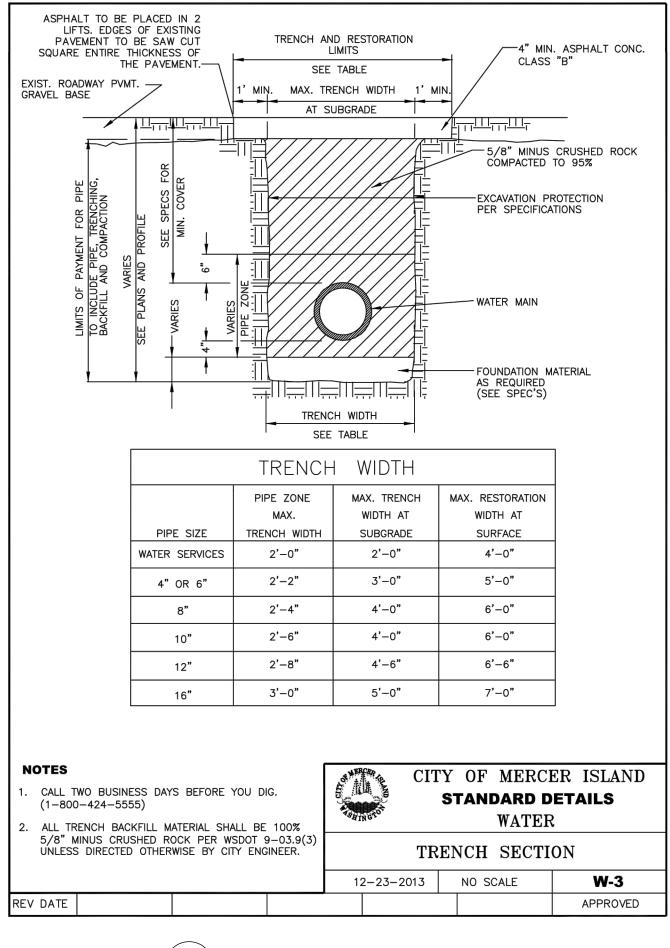
0.5 foot of sediment storage in detention pipe

Overland slope = 5%





CITY OF MERCER ISLAND ON-SITE DETENTION SYSTEM WORKSHEET

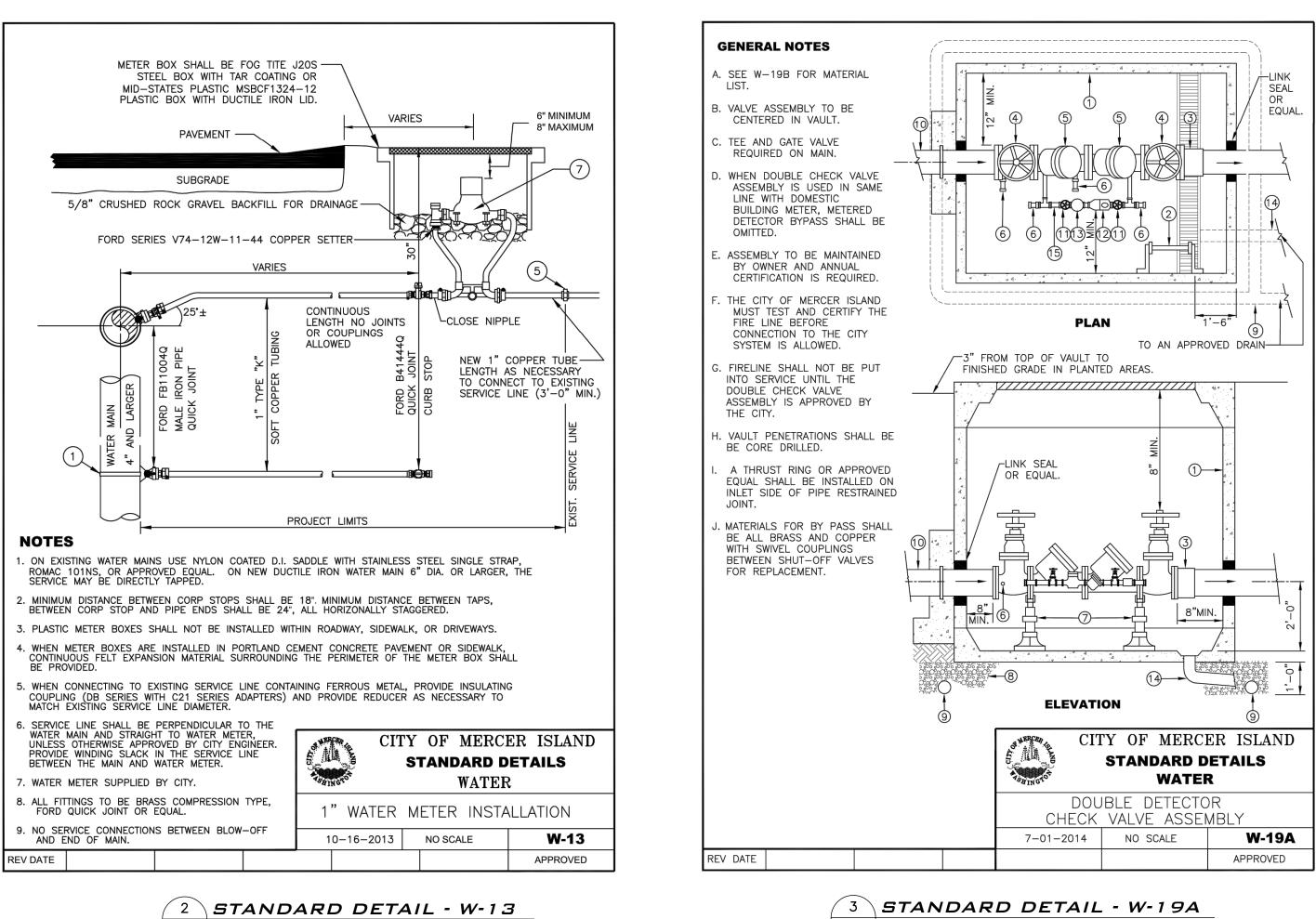


1 STANDARD DETAIL - W-3 C1.0 SCALE: AS NOTED

ser Bui ⊃e Mar 01, 2021 1:37:48PM -P:\2020\20113\_Forest Aven

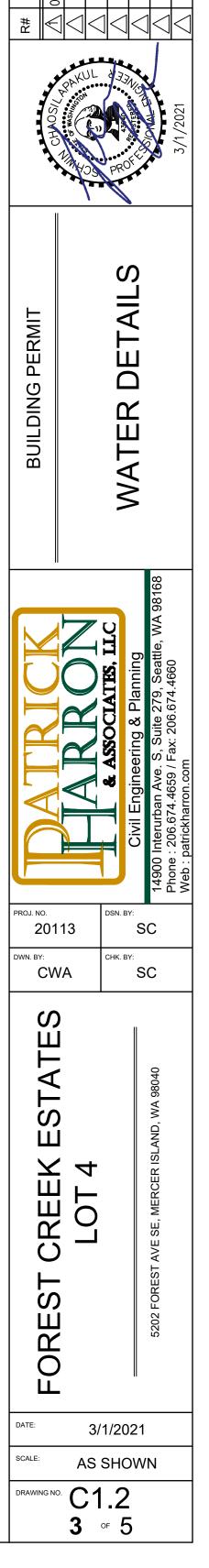
# FOREST CREEK ESTATES LOT 4

SE1/4, NE1/4, SEC. 24, TWP. 24 N., RGE. 4 E., W.M.

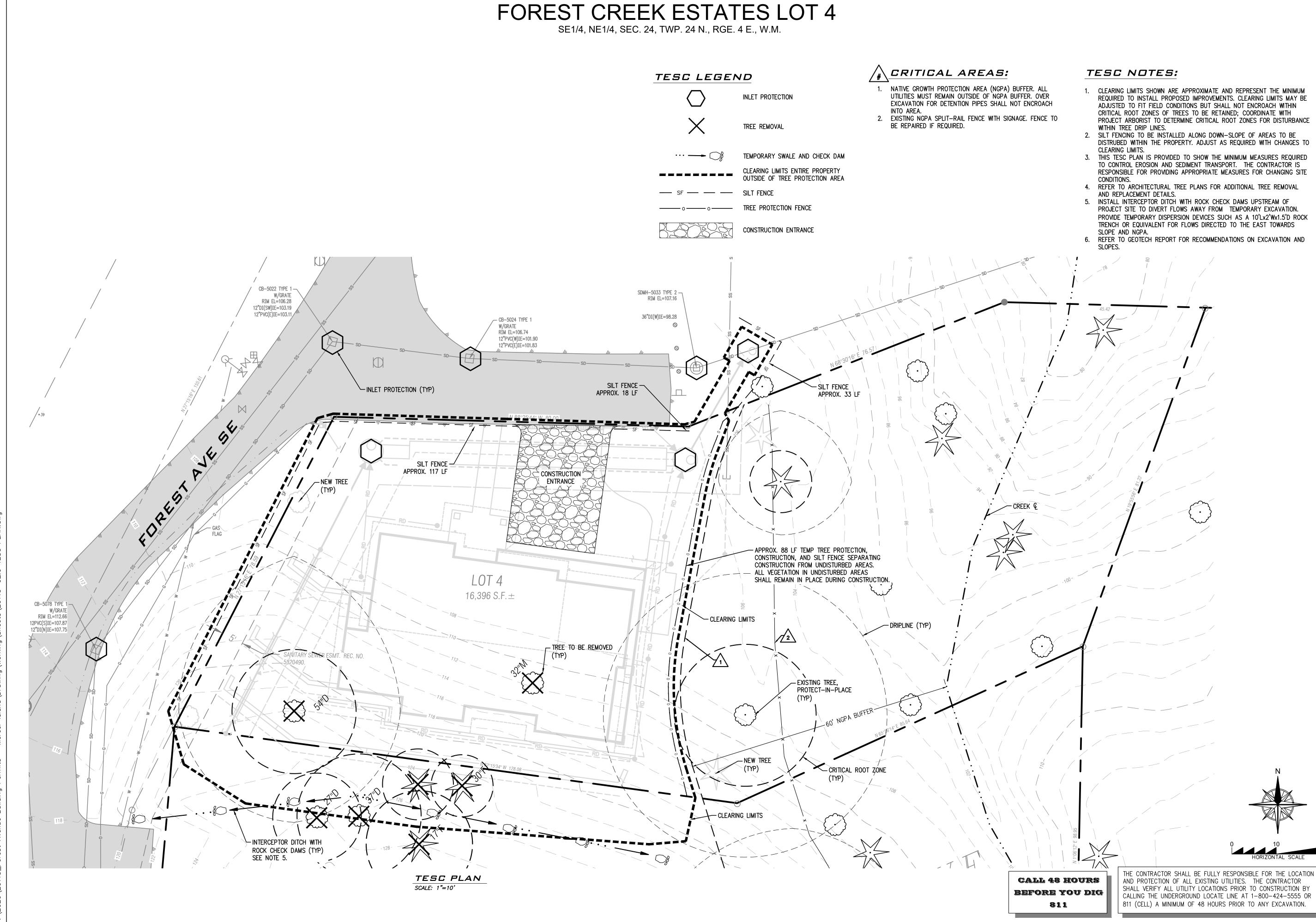


C1.0 SCALE: AS NOTED

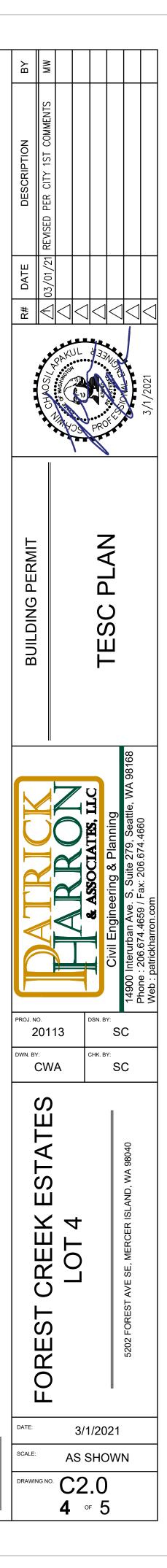
C1.0 SCALE: AS NOTED

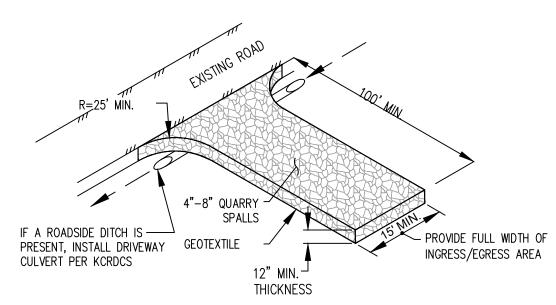


Call 48 Hours Before you dig **811** 



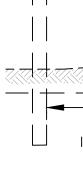
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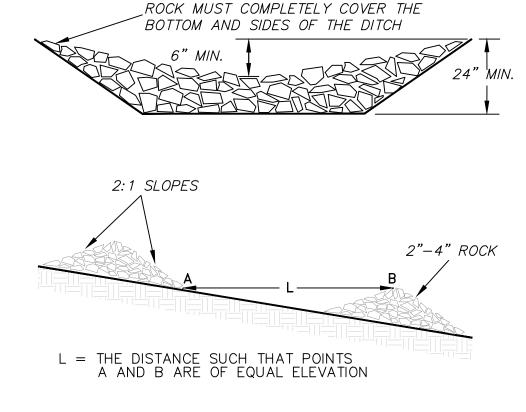
NOTES:

- 1. PER KING COUNTY ROAD DESIGN AND CONSTRUCTION STANDARDS (KCRDCS), DRIVEWAYS SHALL BE PAVED TO EDGE OF R-O-W PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO
- AVOID DAMAGING OF THE ROADWAY. 2. IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE PAD.



NOTE:





( 4 \ ROCK CHECK DAMS  $\langle c2.0 \rangle$  SCALE: NTS

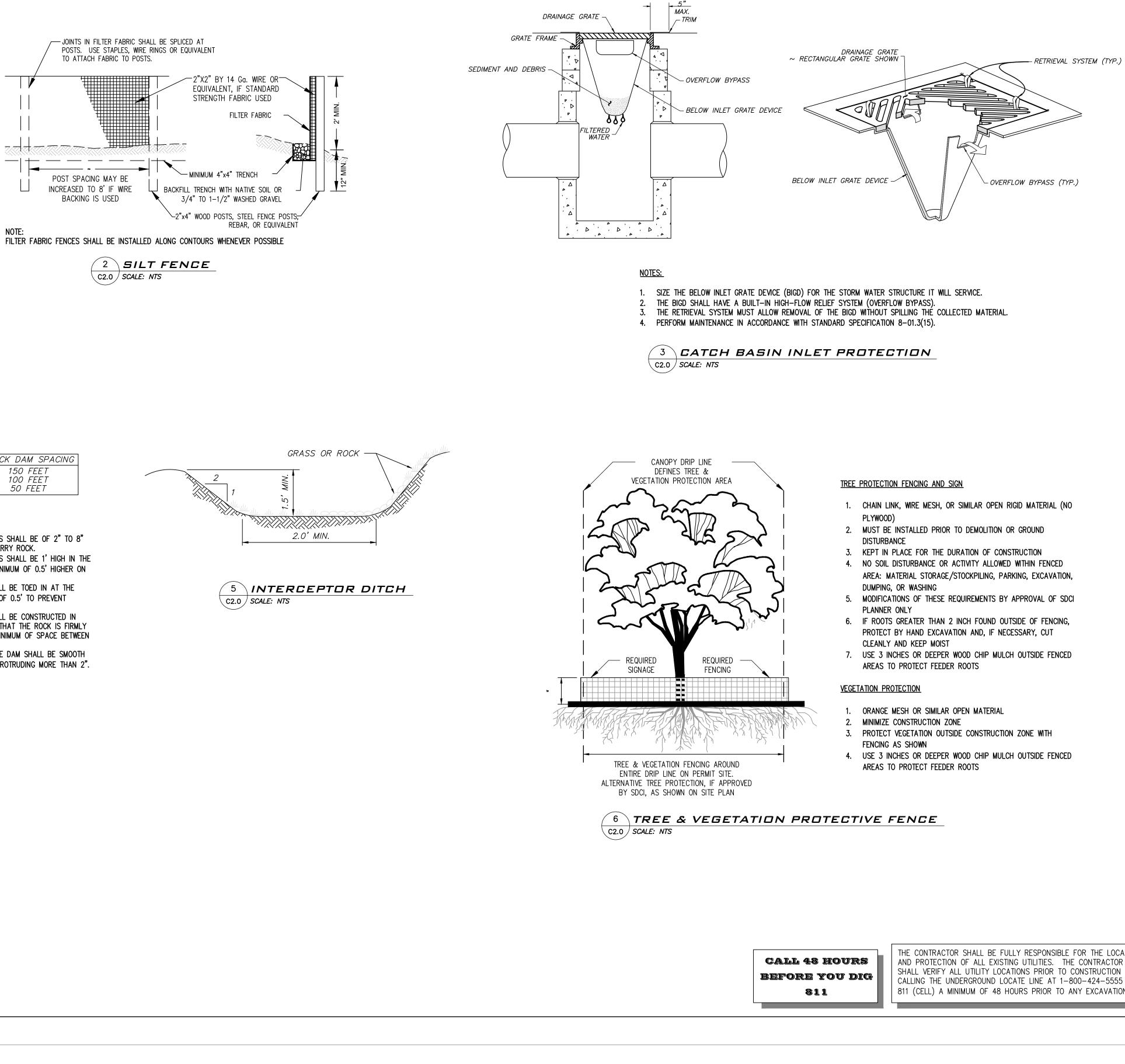
DITCH SLOPE	CHECK DAM SPA
0 - 5% 5 - 10%	150 FEET 100 FEET
10%	50 FEET

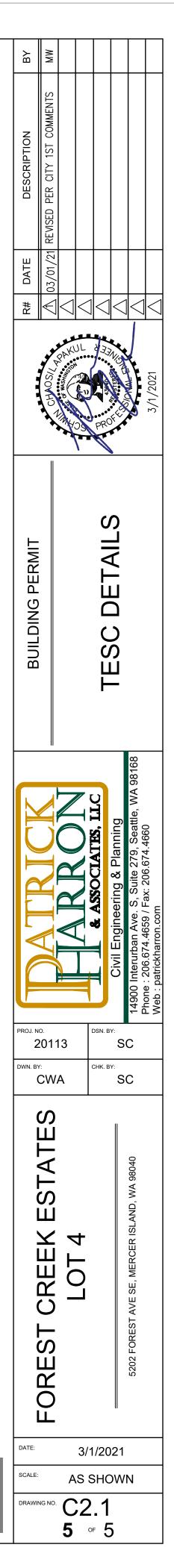
## NOTES:

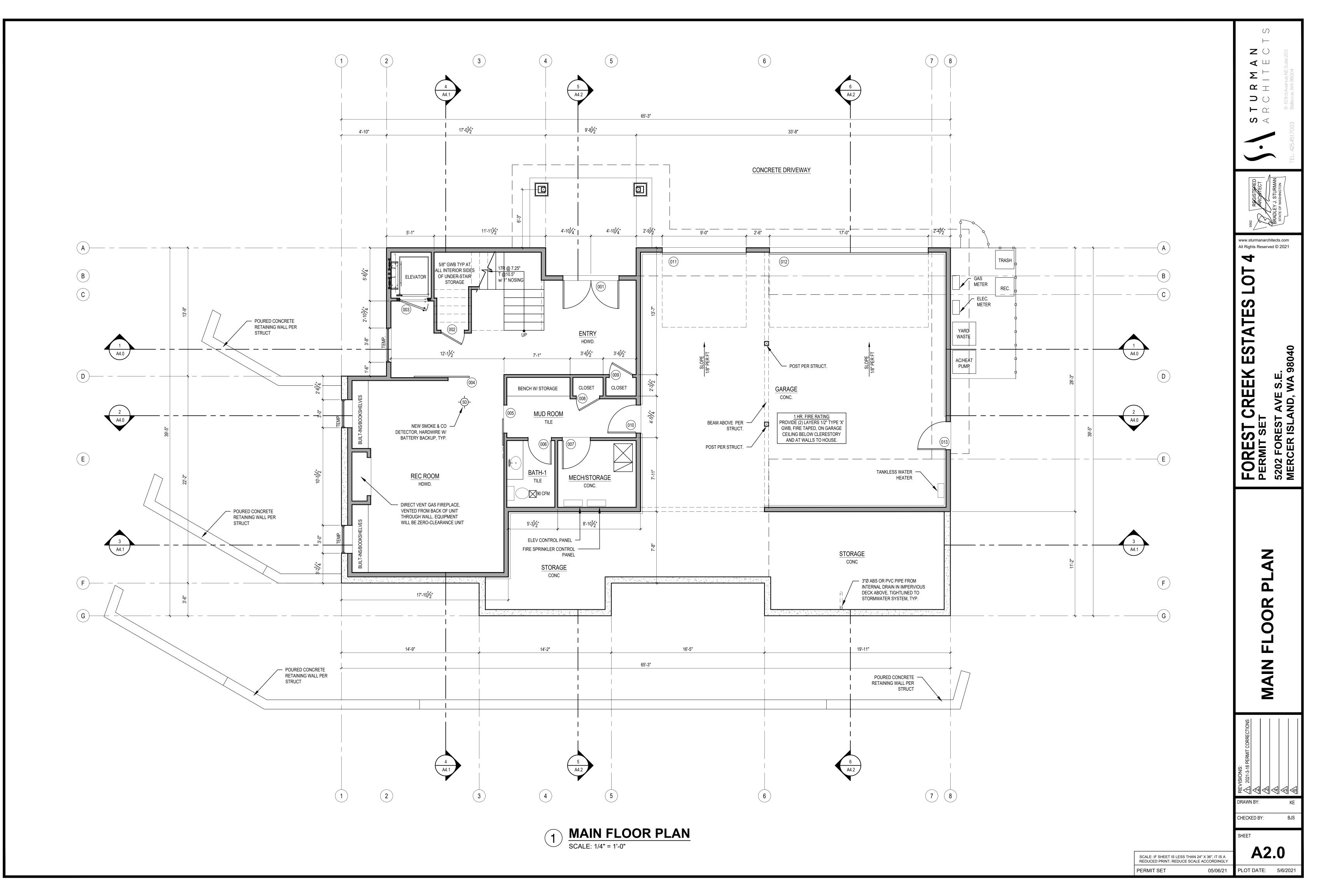
- 1. ROCK CHECK DAMS SHALL BE OF 2" TO 8" FACE, SOUND QUARRY ROCK. 2. ROCK CHECK DAMS SHALL BE 1' HIGH IN THE
- CENTER AND A MINIMUM OF 0.5' HIGHER ON THE SIDES.
- 3. CHECK DAMS SHALL BE TOED IN AT THE BASE A MINIMUM OF 0.5' TO PREVENT EROSION.
- 4. CHECK DAMS SHALL BE CONSTRUCTED IN SUCH A MANNER THAT THE ROCK IS FIRMLY PLACED WITH A MINIMUM OF SPACE BETWEEN ROCKS.
- 5. THE FACES OF THE DAM SHALL BE SMOOTH WITH NO ROCKS PROTRUDING MORE THAN 2".

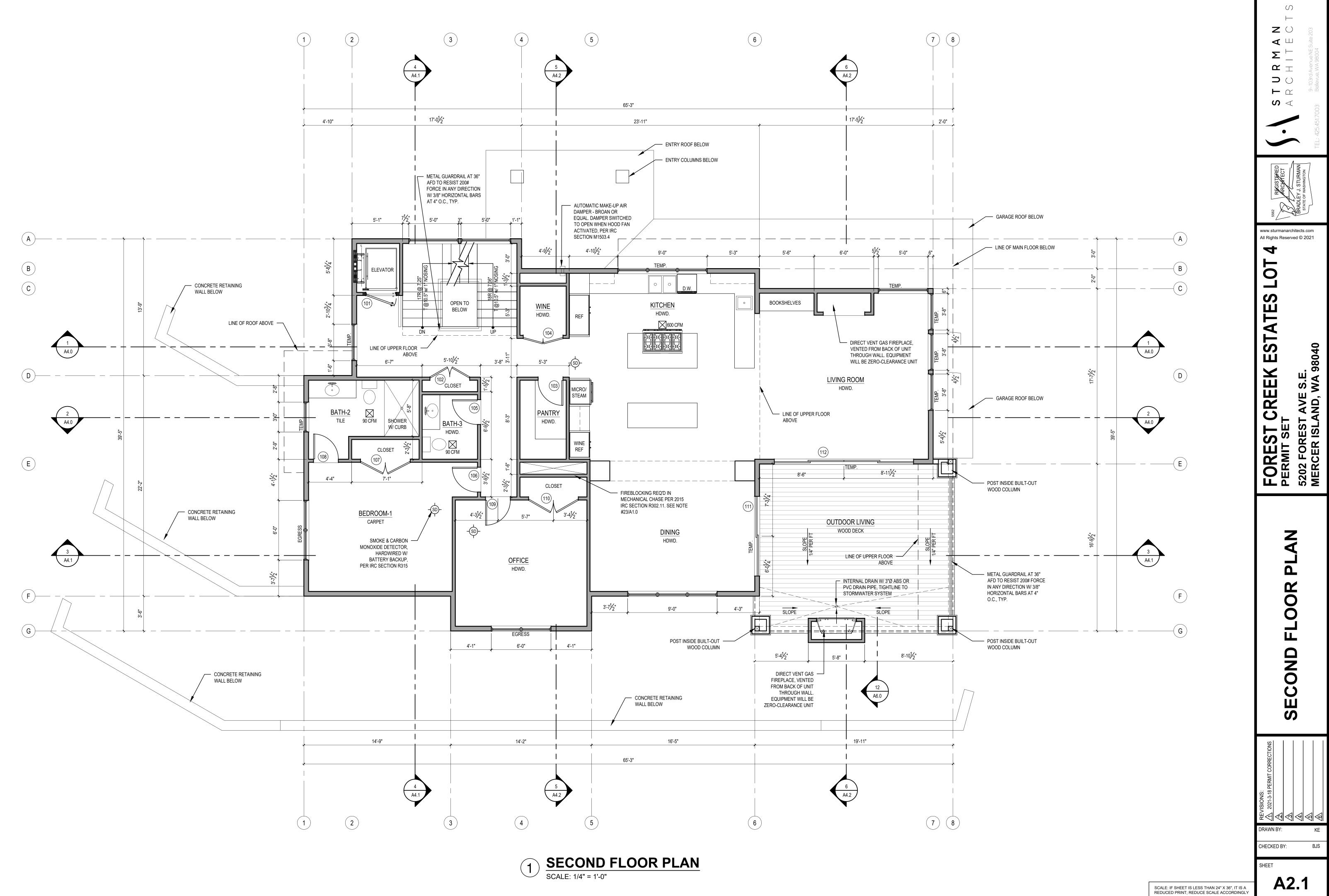
# FOREST CREEK ESTATES LOT 4

SE1/4, NE1/4, SEC. 24, TWP. 24 N., RGE. 4 E., W.M.

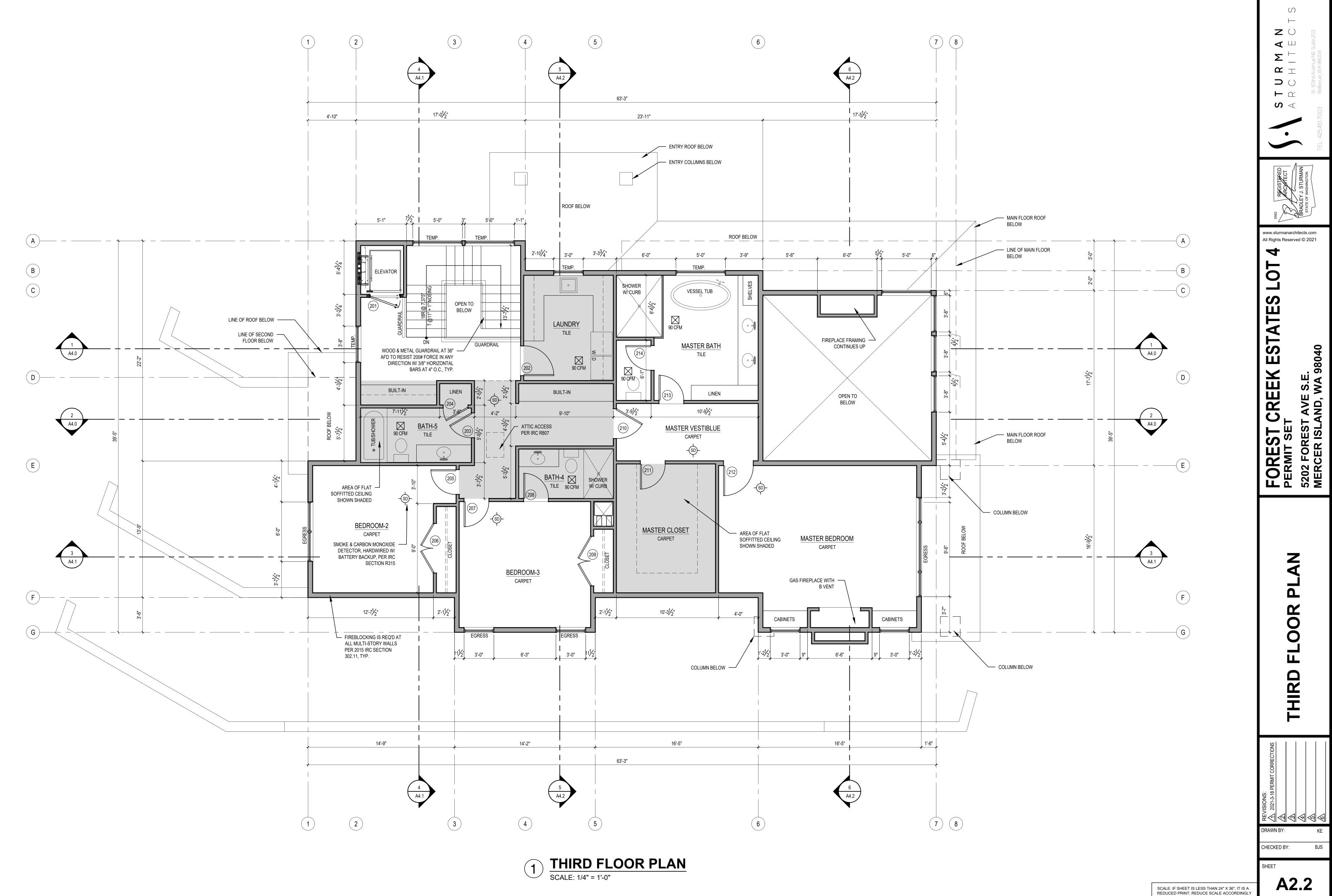








PERMIT SET 05/06/21 PLOT DATE: 5/6/2021

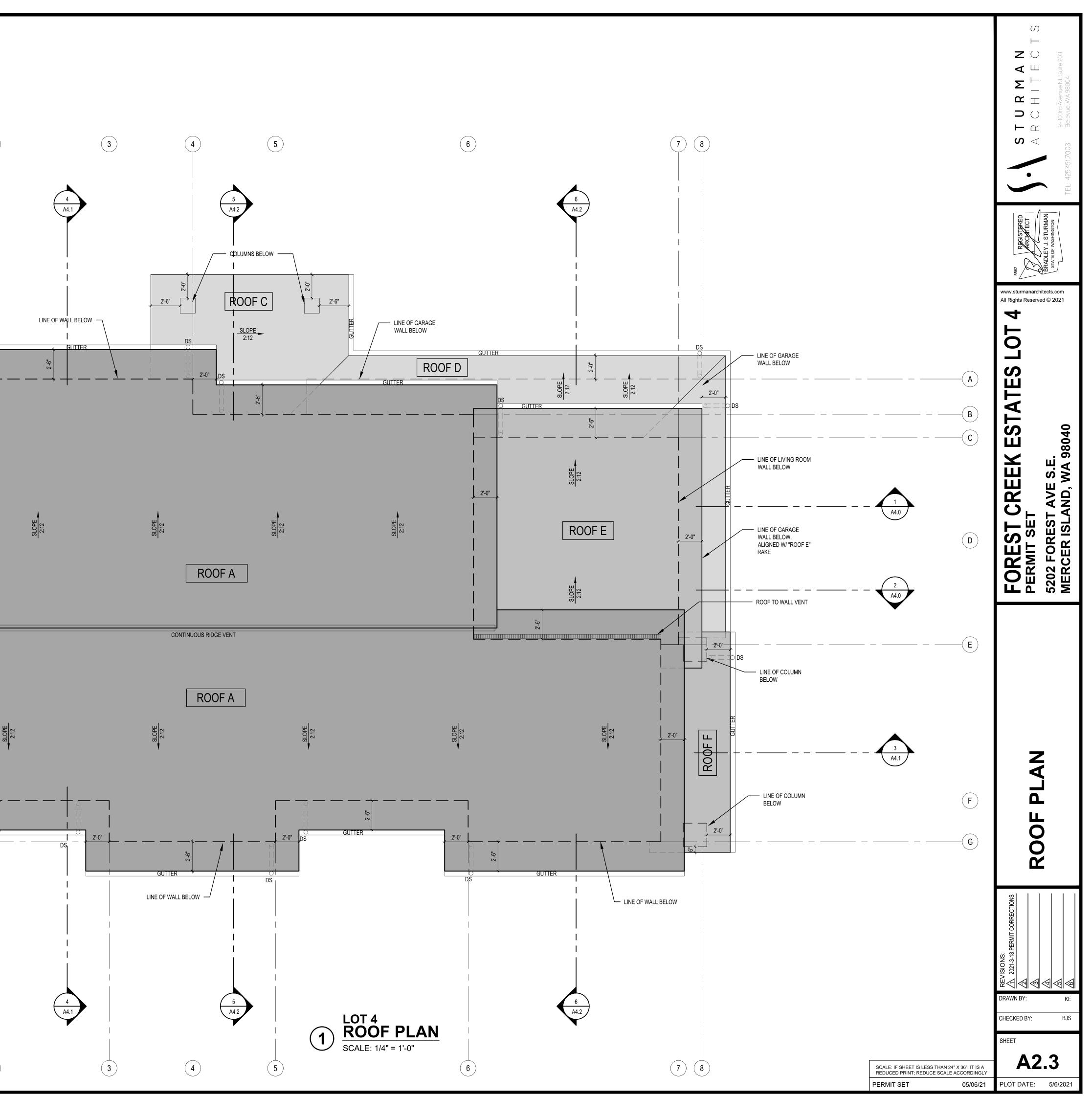


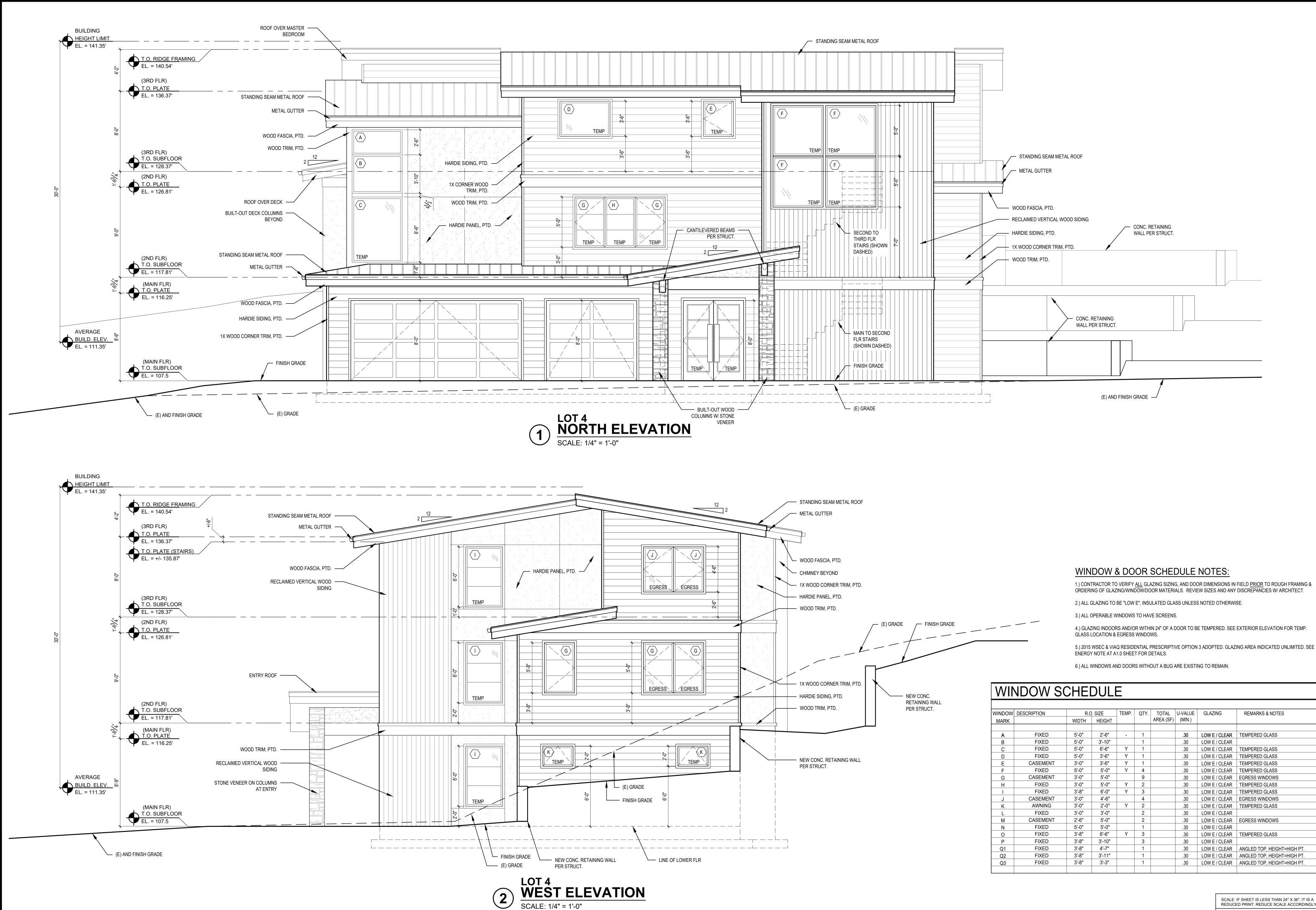
PERMIT SET 05/06/21

PLOT DATE: 5/6/2021

ROOF VENT				CALCULATIO	NS		<b>.</b>		······		······		ACTUAL		1	
ESCRIPTION		REQ. V	ENTING		ТҮРЕ		VENT L.F.		TOTAL		SF CONVERT.		80% EFF		]	
		PER SF				х		=	VENT AREA	x	1/144	x	FACTOR	TOTAL	-	
		150	300	RIDGE	SOFFIT				SQ. IN.		1/144		TACTOR		-	
					18 SQ.IN./FT.		133		2394	-	16.63	-	13.30	16.37	-	
ROOF A	2,401		16.01	12 SQ.IN/FT.	1.5" VENT		46		552		3.83	-	3.07		-	
				CONTINUOUS							0.00		0.07		-	
					18 SQ.IN./FT.		7.5		135		0.94		0.75	0.75		
ROOF B	86	0.57		12 SQ.IN/FT.	1.5" VENT						0.00	-	0.00			(2)
				CONTINUOUS							0.00	-	0.00		-	
					18 SQ.IN./FT.		21		378		2.63	_	2.10	2.10		
ROOF C	183	1.22			1.5" VENT					-						
				12 SQ.IN/FT. CONTINUOUS							0.00	-	0.00			
					18 SQ.IN./FT.		55		990		6.88		5.50	5.50		
ROOF D	290	1.93			1.5" VENT											
				12 SQ.IN/FT. CONTINUOUS							0.00	-	0.00			
					18 SQ.IN./FT.		27		486		3.38		2.70	2.70		
ROOF E	408	2.72			1.5" VENT											
				12 SQ.IN/FT. CONTINUOUS							0.00		0.00			
					18 SQ.IN./FT.		19		342		2.38		1.90	1.90		
ROOF F	125	0.83			1.5" VENT											
				12 SQ.IN/FT.							0.00		0.00			
				CONTINUOUS												
				D E								ROOF	  TO WALL VEN			
				(F)-							L	.ine oi	= WALL BELOV	v		2'-6"
				G												<u>SU</u> TT <u>ER</u>

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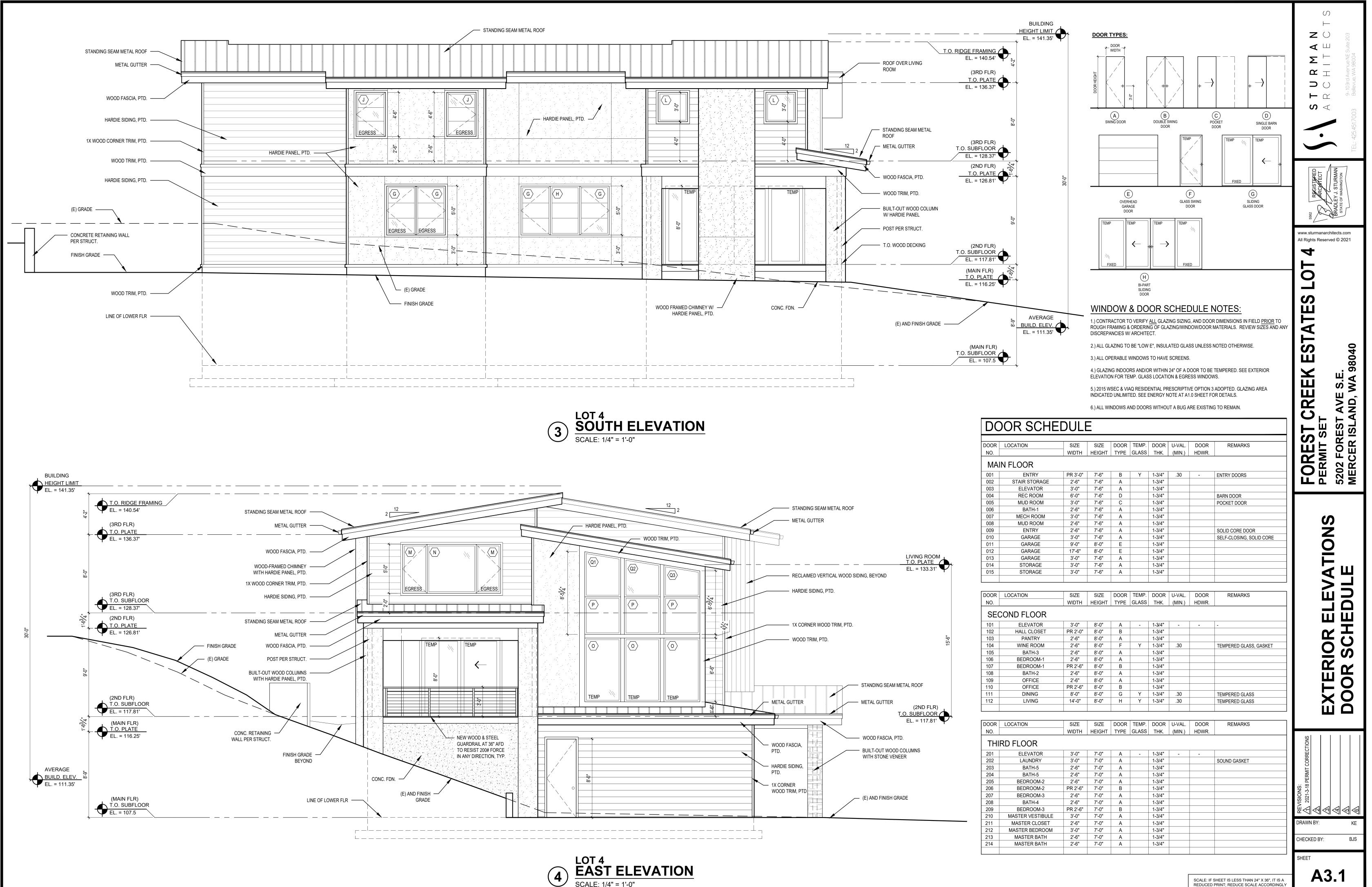
4.) GLAZING INDOORS AND/OR WITHIN 24" OF A DOOR TO BE TEMPERED. SEE EXTERIOR ELEVATION FOR TEMP.

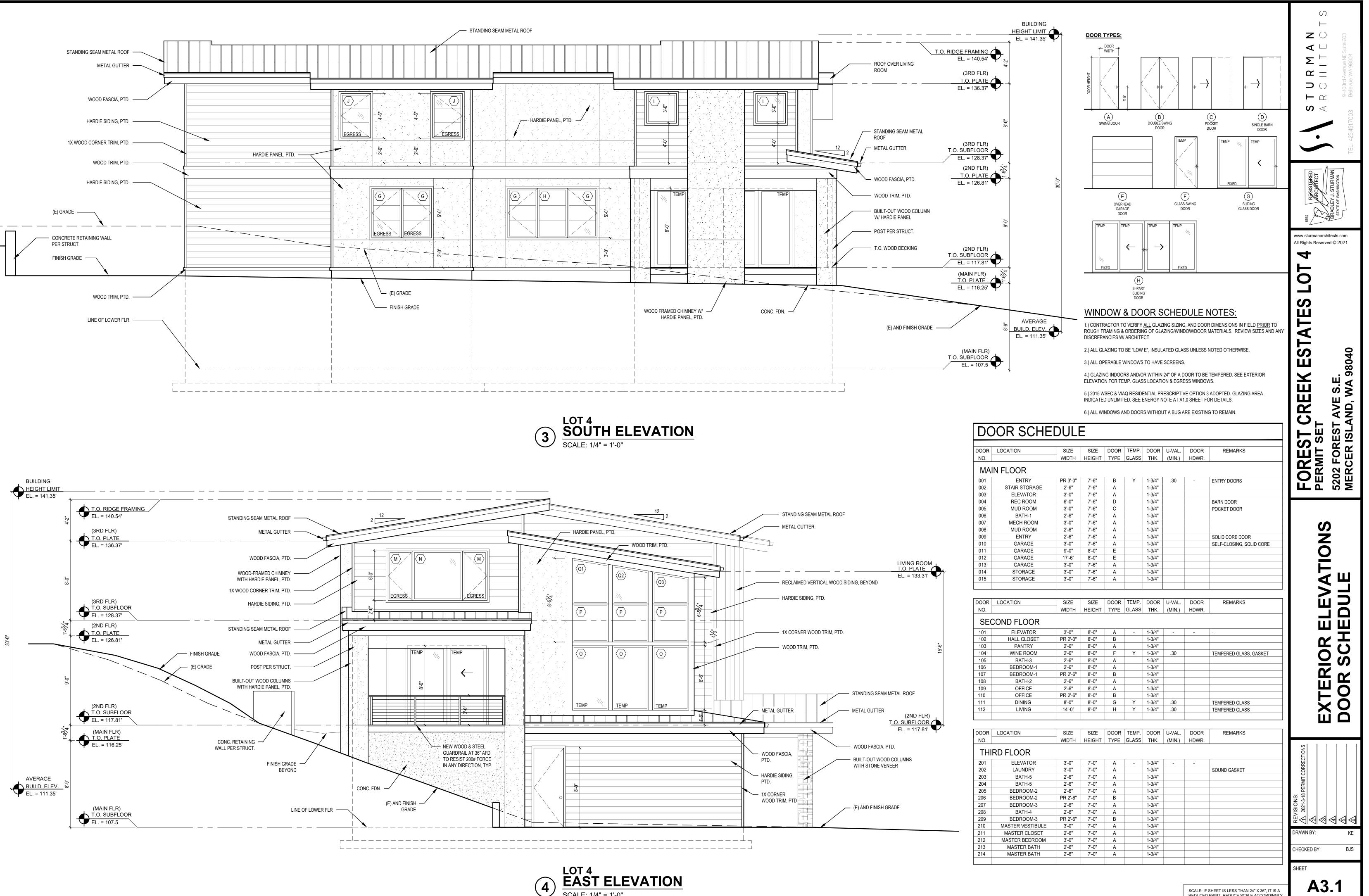
5.) 2015 WSEC & VIAQ RESIDENTIAL PRESCRIPTIVE OPTION 3 ADOPTED. GLAZING AREA INDICATED UNLIMITED. SEE

WINDOW	DESCRIPTION	R.C	). SIZE	TEMP.	QTY.	TOTAL	U-VALUE	GLAZING	REMARKS & NOTES	
MARK		WIDTH	HEIGHT			AREA (SF)	(MIN.)			EXT
A	FIXED	5'-0"	2'-6"	-	1		.30	LOW E / CLEAR	TEMPERED GLASS	
В	FIXED	5'-0"	3'-10"		1		.30	LOW E / CLEAR		
С	FIXED	5'-0"	6'-6"	Y	1		.30	LOW E / CLEAR	TEMPERED GLASS	
D	FIXED	5'-0"	3'-6"	Y	1		.30	LOW E / CLEAR	TEMPERED GLASS	ISIONS: 2021-3-18 PERMIT CORRECTIONS
Е	CASEMENT	3'-0"	3'-6"	Y	1		.30	LOW E / CLEAR	TEMPERED GLASS	
F	FIXED	5'-0"	5'-0"	Y	4		.30	LOW E / CLEAR	TEMPERED GLASS	L L L L L L L L L L L L L L L L L L L
G	CASEMENT	3'-0"	5'-0"		9		.30	LOW E / CLEAR	EGRESS WINDOWS	NO NO
Н	FIXED	3'-0"	5'-0"	Y	2		.30	LOW E / CLEAR	TEMPERED GLASS	
I	FIXED	3'-8"	6'-0"	Y	3		.30	LOW E / CLEAR	TEMPERED GLASS	RM
J	CASEMENT	3'-0"	4'-6"		4		.30	LOW E / CLEAR	EGRESS WINDOWS	E E
K	AWNING	3'-0"	2'-0"	Y	2		.30	LOW E / CLEAR	TEMPERED GLASS	REVISIONS: <u>入</u> 2021-3-18 <u>入</u>
L	FIXED	3'-0"	3'-0"		2		.30	LOW E / CLEAR		101
М	CASEMENT	2'-6"	5'-0"		2		.30	LOW E / CLEAR	EGRESS WINDOWS	VIS 20
Ν	FIXED	5'-0"	5'-0"		1		.30	LOW E / CLEAR		$\mathbb{Z} = \mathbb{Z} = \mathbb{Z}$
0	FIXED	3'-8"	6'-6"	Y	3		.30	LOW E / CLEAR	TEMPERED GLASS	
Р	FIXED	3'-8"	3'-10"		3		.30	LOW E / CLEAR		DRAWN BY:
Q1	FIXED	3'-8"	4'-7"		1		.30	LOW E / CLEAR	ANGLED TOP, HEIGHT=HIGH PT.	
Q2	FIXED	3'-8"	3'-11"		1		.30	LOW E / CLEAR	ANGLED TOP, HEIGHT=HIGH PT.	CHECKED BY:
Q3	FIXED	3'-8"	3'-3"		1		.30	LOW E / CLEAR	ANGLED TOP, HEIGHT=HIGH PT.	

SCALE: IF SHEET IS LESS THAN 24" X 36", IT IS A REDUCED PRINT; REDUCE SCALE ACCORDINGLY PERMIT SET 05/06/21

PLOT DATE: 5/6/2021

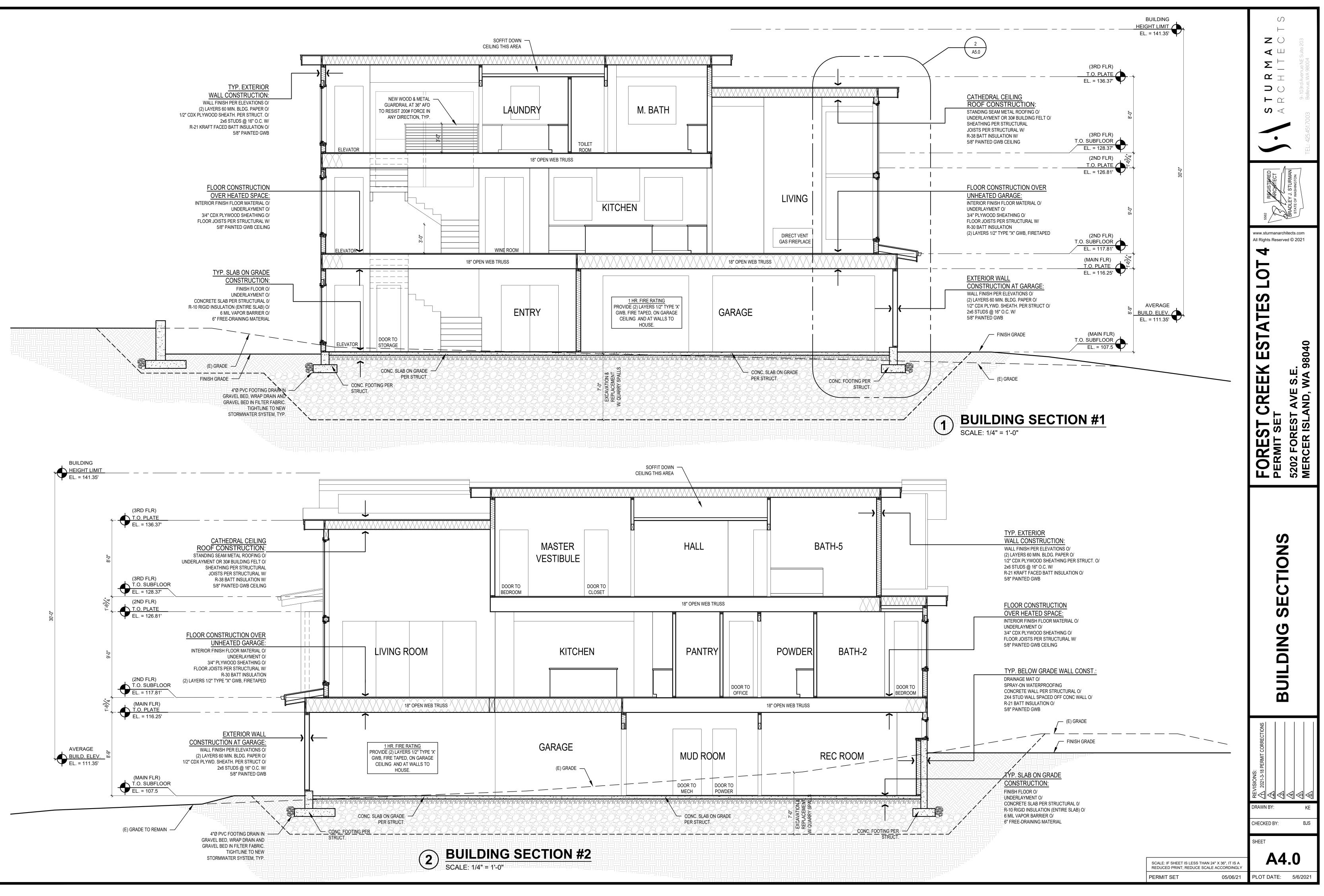


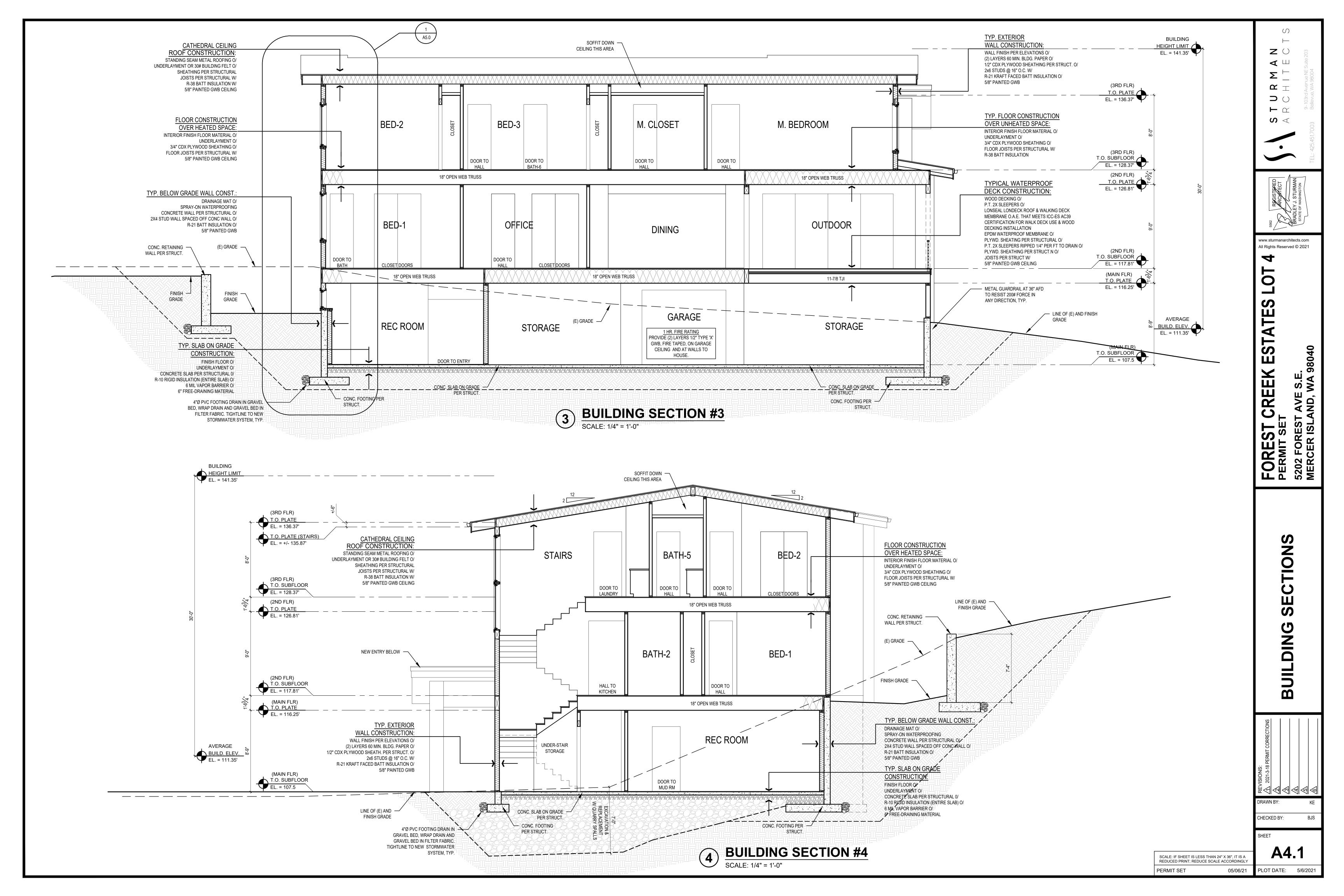


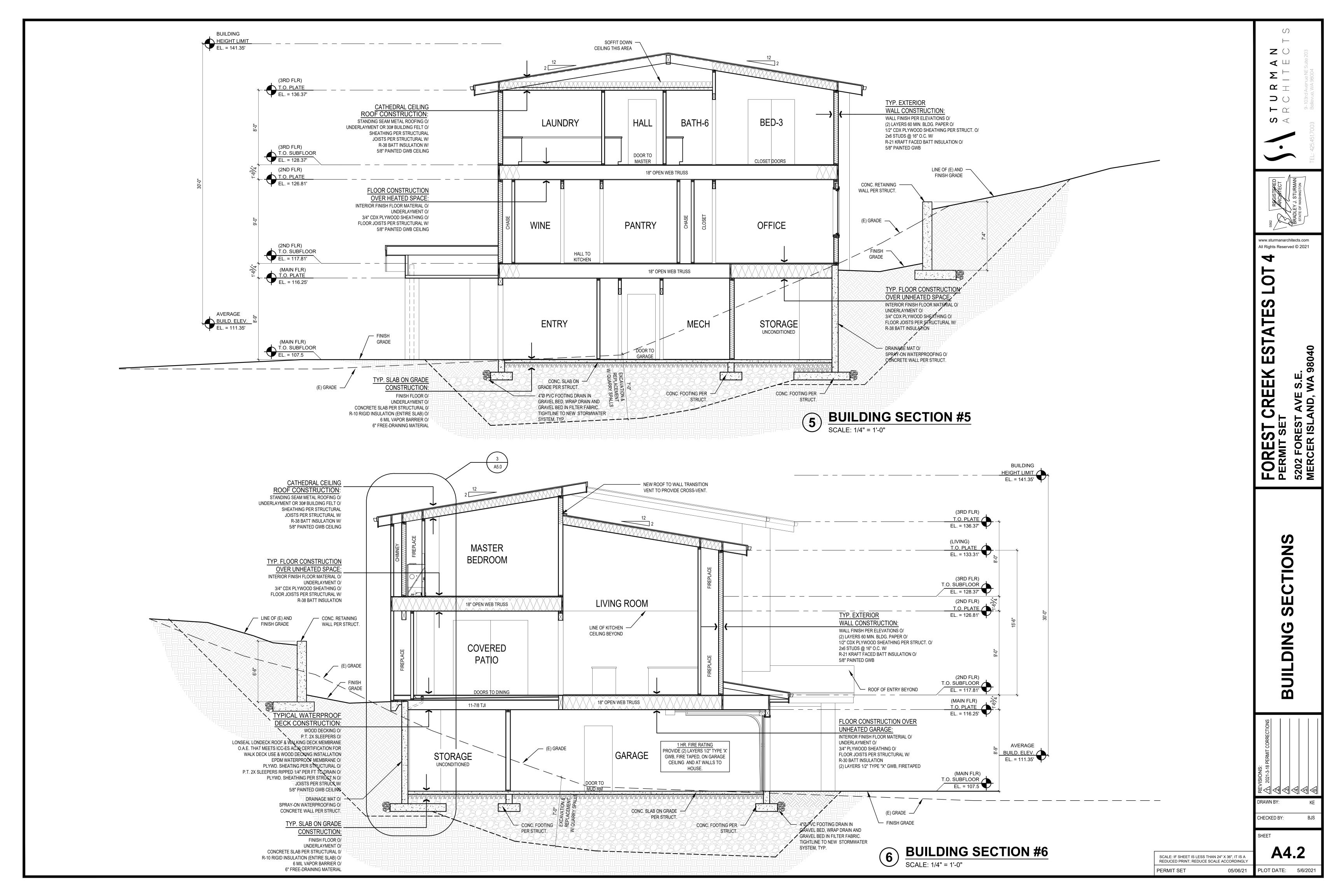


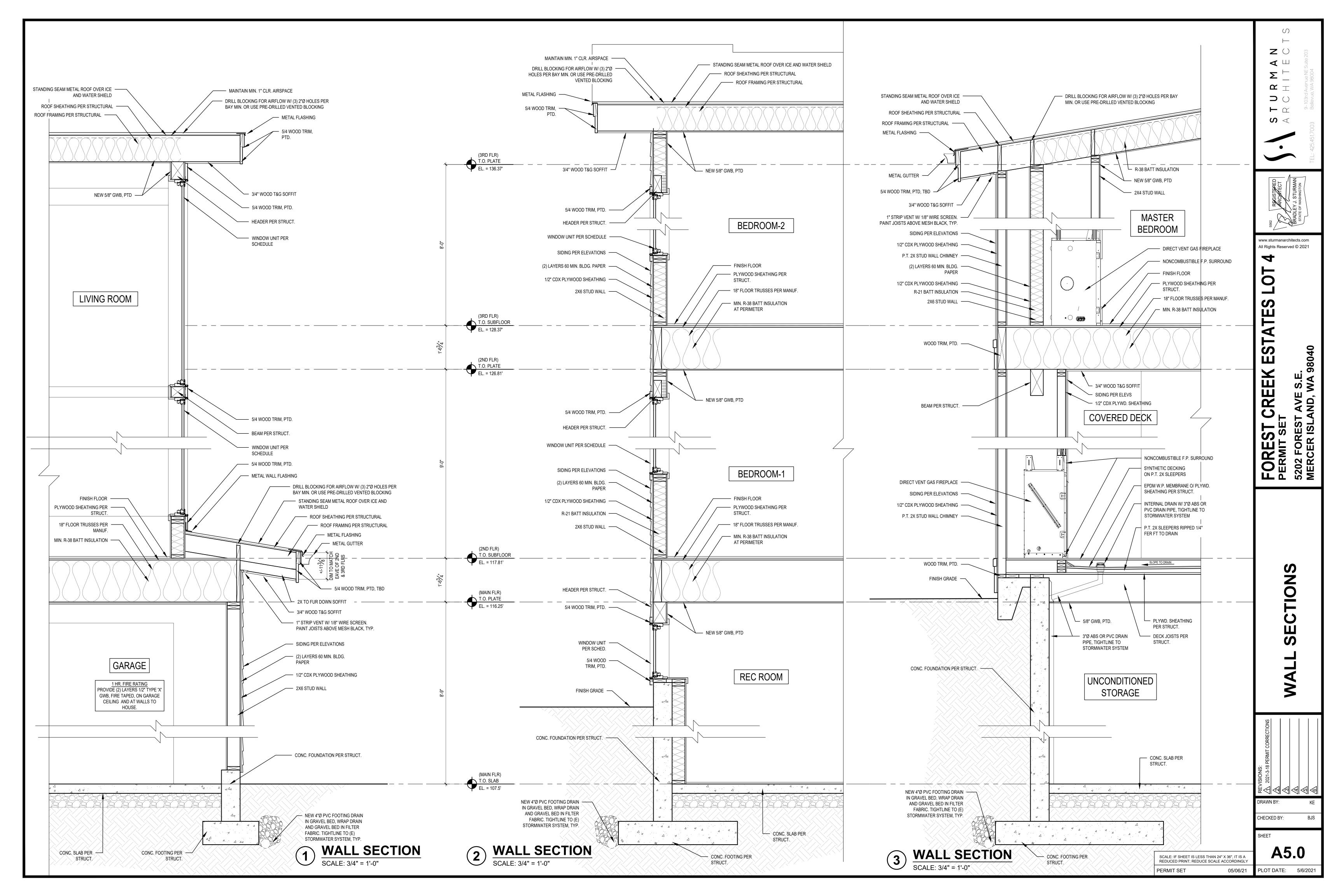
PERMIT SET

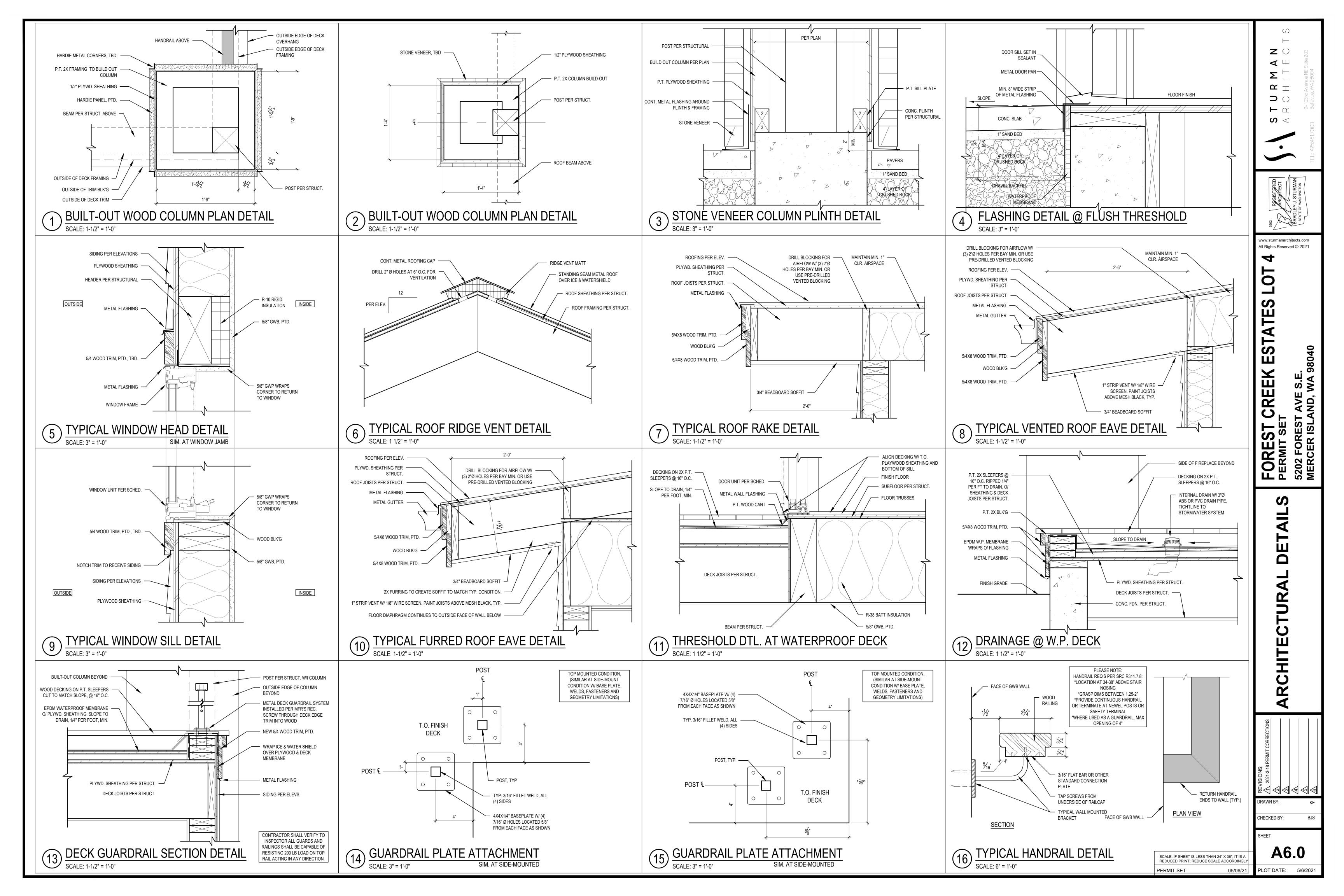
PLOT DATE: 5/6/2021 05/06/21

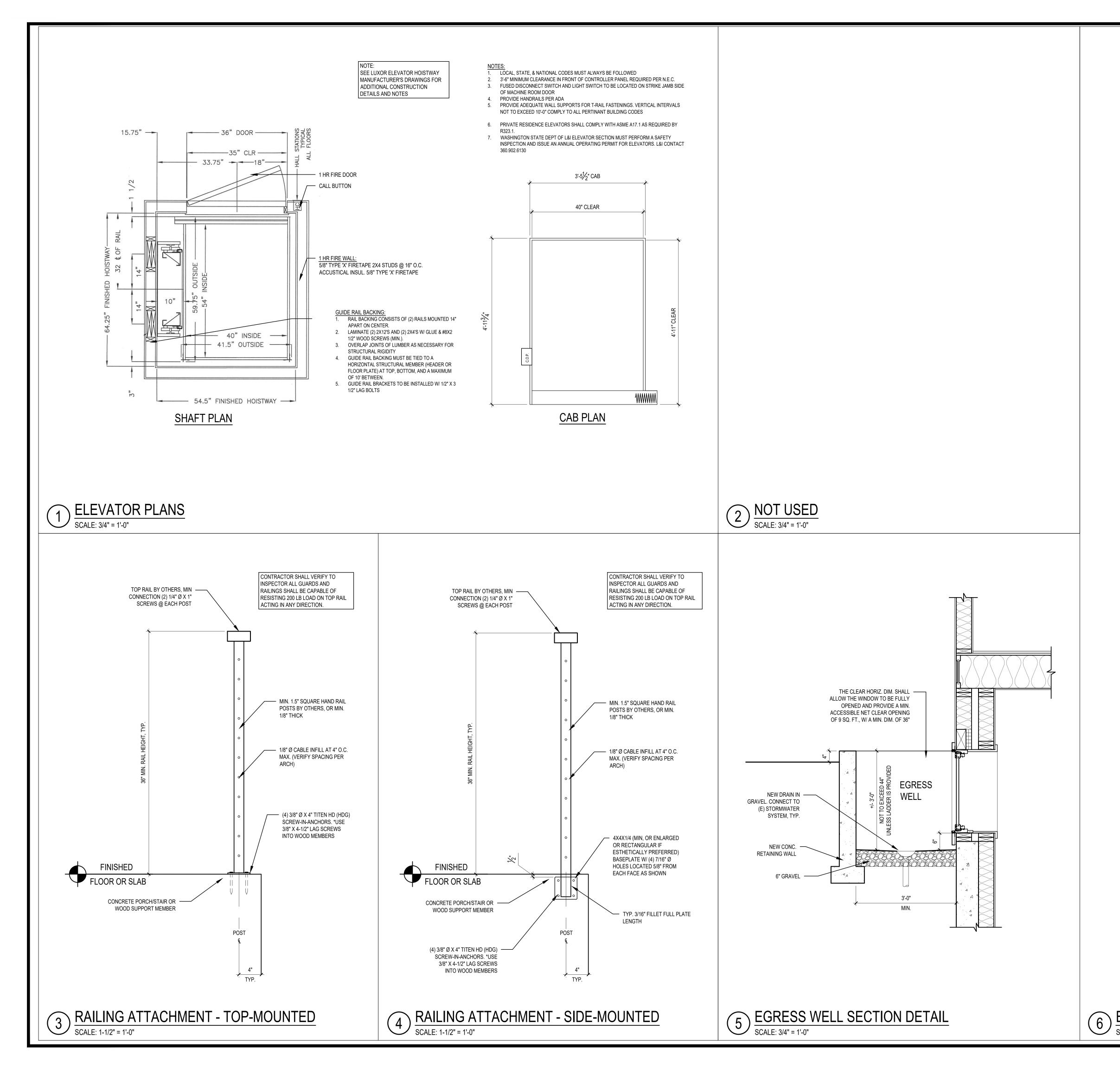


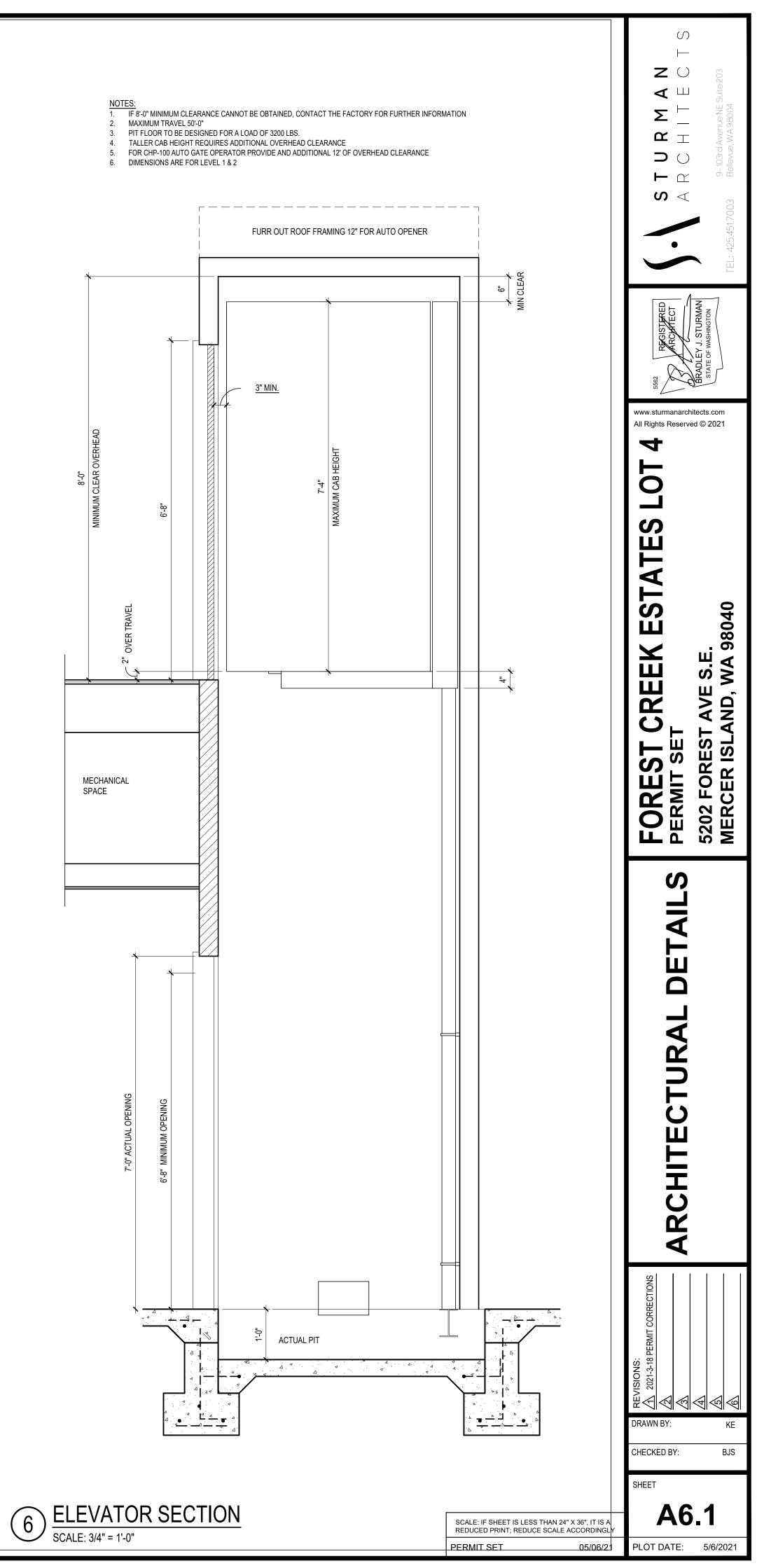












# FOREST AVE LOT 4



ONE TWENTY°

REVISIONS

△ DESCRIPTION DATE BY

<u>1</u> - BDC 21/03/26 AP

# S200420

## **PROJECT INFORMATION**

<u>CLIENT</u> JON TELLEFSON PO BOX 40568, BELLEVUE, WA 98015

<u>PROJECT ADDRESS</u> 5202 FOREST AVE SE, MERCER ISLAND, WA 98040

> ARCHITECT STURMAN ARCHITECTS 9 103RD AVE NE SUITE 203 BELLEVUE, WA 98004 PHONE: (425) 451-7003

STRUCTURAL ENGINEER L120 ENGINEERING & DESIGN 13150 91st PL NE KIRKLAND WA, 98034 PHONE: (206) 790-9502 CONTACT: MANS THURFJELL, PE

# CODES

ENGINEERED PER: 2015 (SRC) SEATTLE RESIDENTIAL CODE 2015 (SBC) SEATTLE BUILDING CODE

# SHEET INDEX

COVER SHEET...S-0 STRUCTURAL GENERAL NOTES...S-1 FOUNDATION PLAN...S-2 FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-3 SECOND FLOOR FRAMING PLAN...S-4 SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-5 THIRD FLOOR FRAMING PLAN...S-6 THIRD FLOOR WALL FRAMING AND SHEAR WALL PLAN...S-7 THIRD FLOOR CEILING FRAMING PLAN...S-8 ROOF FRAMING PLAN...S-9

> STRUCTURAL DETAILS...SD-1 STRUCTURAL DETAILS...SD-2 STRUCTURAL DETAILS...SD-3

	PROJECT NAM	
	PROJECT NUME	
	S200420	
DR	AWN BY - AP	
CH	ECKED BY - MT	
SH	EET DATE - 03/03	8/2021
2	SCALE 4X36 SHEET:1/4	"=1'-0"
	ET ET	
	SHE	
NOIL	ER	S-0
DESCRIPTION	COVER SHEET	
	-	

L S

# **GENERAL STRUCTURAL NOTES**

## DESIGN CRITERIA

CODE: 2015 SBC/SRC & AMENDMENTS AS ADOPTED BY THE REVIEWING AGENCY/COUNTY. ROOF ..... ..25 PSF SNOW (GROUND)

#### FLOORS RESIDENTIAL. ..40 PSF

BALCONY/DECK. ..60 PSF

BASIC WIND SPEED ..110 MPH, EXPOSURE B SEISMIC

MAPPED SPECTRAL ACCELERATION, Ss	<u>1.444</u>
MAPPED SPECTRAL ACCELERATION, S1	<u>0.554</u>
SOIL SITE CLASS	D

**GENERAL CONDITIONS** 

- 1. THE CONTRACTOR SHALL EXAMINE THE STRUCTURAL DRAWINGS AND SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK
- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT/ENGINEER SHALL IMMEDIATELY BE NOTIFIED IN WRITING OF ANY DISCREPANCIES
- 3. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED
- 4. IN CASE OF CONFLICT, NOTES AND DETAILS OF THESE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE "GENERAL NOTES" AND/OR "STANDARD DETAILS"
- 5. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.
- 6. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THESE DRAWINGS.
- 7. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS TO THE STRUCTURE.
- 8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION.
- 9. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE, AND ALL OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK
- 10. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE THE NOTES, DRAWINGS, AND/OR SPECIFICATIONS DIFFER, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- 11. REFER TO THE ARCHITECTURAL DRAWINGS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE STRUCTURAL DRAWINGS.
- 12. NOTIFY ENGINEER OF ALL FIELD CHANGES PRIOR TO INSTALLATION.
- 13. DISCREPANCIES FOUND BETWEEN STRUCTURAL DRAWINGS AND OTHER DOCUMENTS ARE TO BE NOTED IN WRITING TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 14. ALL CONSTRUCTION SHALL BE DONE WITH MATERIALS, METHODS, AND WORKMANSHIP ACCEPTED AS GOOD PRACTICE BY THE CONSTRUCTION INDUSTRY IN CONFORMANCE TO THE PROVISIONS OF THE "INTERNATIONAL BUILDING CODE" (IBC), AND STANDARDS REFERENCED THEREIN.

## FOUNDATION

- 1. FOUNDATION DESIGN PARAMETERS ASSUMED PER IRC/IBC VALUES:
  - FOOTING BEARING PRESSURE: 1500 PSF
  - LATERAL EARTH PRESSURE:
- ACTIVE: 35 PCF (FREE) 50 PCF (RESTRAINED)
  - PASSIVE: 350 PCF
  - COEFFICIENT OF BASE FRICTION: 0.35
- 2. SUBGRADE PREPARATION, DRAINAGE PROVISIONS, AND OTHER RELEVANT SOIL CONSIDERATIONS ARE 7 TO BE IN ACCORDANCE WITH THE JURISDICTIONAL REQUIREMENTS
- 3. ALL FOUNDATIONS ARE TO BEAR ON COMPETENT NATIVE SOILS OR STRUCTURAL FILL. STRUCTURAL FILL 8 IS TO BE COMPACTED TO 95% DENSITY PER ASTM D-1557.

#### CONCRETE

- 1. REFERENCE STANDARDS: ACI-301, ACI-318, IBC.
- MINIMUM CONCRETE STRENGTH (28 DAYS):
- FOOTINGS AND STEM WALLS......3,000 PSI 5 SACK MIX
- BASEMENT FOUNDATION RETAINING WALLS......3,000 PSI 5 SACK MIX
- SLAB-ON-GRADE......2,500 PSI 5 SACK MIX
- SLAB-ON-GRADE......EXPOSED WEATHERING SURFACES........3,000 PSI
- AIR-ENTRAINMENT 2.5% TO 5.5% FOR EXPOSED CONCRETE
- 2. MIXING: COMPLY WITH ACI-301. DO NOT EXCEED THE AMOUNT OF WATER SPECIFIED IN THE APPROVED MIX. PROPORTIONS OF AGGREGATE TO CEMENT SHALL BE SUCH AS TO PRODUCE A DENSE WORKABLE MIX WHICH CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER
- 3. PLACING: COMPLY WITH ACI-301. PROVIDE A 3/4 INCH CHAMFER ALL EXPOSED CONCRETE EDGES, UNLESS INDICATED OTHERWISE ON ARCHITECTURAL DRAWINGS.
- 4. SLUMP: 4" PLUS OR MINUS ONE INCH. DO NOT ADD WATER TO MIX TO INCREASE SLUMP. GREATER SLUMP, ACCELERATED SET, OR HIGH EARLY STRENGTH MAY BE ACHIEVED BY USING APPROVED ADMIXTURES.
- 5. CURING: COMPLY WITH ACI-301. KEEP CONCRETE MOIST FOR SEVEN DAYS MINIMUM.
- 6. JOINTING: PROVIDE ADEQUATE JOINTING TO MINIMIZE EFFECTS OF VOLUME CHANGE. JOINTS SHOWN MAY BE ADJUSTED AT CONTRACTOR'S OPTION, WITH PRIOR APPROVAL FROM ENGINEER.
- 7. WEATHER EXTREMES: COMPLY WITH ACI 305R FOR HOT WEATHER. COMPLY WITH ACI 306R FOR COLD WEATHER.
- 8. WATER/CEMENT RATIO SHALL NOT EXCEED 0.50 (BY WEIGHT), TYPICAL

REINFORCING STEEL

- (MSP-1)
- 2. MATERIALS:
- REINFORCING STEEL: ASTM A615, GRADE 60 3. SPLICES:
  - CORNER BARS FOR ALL HORIZONTAL REINFORCEMENT

## 4. COVER:

- SLABS.....2 INCHES
- 5. FORMED SURFACES:

WEATHER FACE ...1-1/2 INCHES, #5 BARS AND SMALLER 2 INCHES, # 6 BARS AND LARGER INTERIOR FACE ... 3/4 INCH FOR SLABS AND WALLS 1-1/2 INCHES FOR BEAMS AND COLUMNS

#### STRUCTURAL AND MISC. STEEL

- 2. MATERIALS:
  - BOLTS ASTM A307, UNLESS OTHERWISE NOTED WF BEAMS - ASTM A572-50 (Fy = 50,000 PSI) HSS ROUND COLUMNS - ASTM A500 Gr. B (Fy = 42,000 PSI) HSS RECTANGULAR COLUMNS - ASTM A500 Gr. B (Fy = 46,000 PSI) ALL OTHER STEEL - ASTM A36 (Fy = 36,000 PSI)

#### STRUCTURAL STEEL WELDING

CONFORM TO THE AWS CODES D1.1 AND D1.3. ALL WELDING TO BE DONE ONLY BY WABO CERTIFIED FLOOR SHEATHING: 3/4" NOMINAL APA RATED PANELS, PRP-108 PERFORMANCE STANDARD, NAILED AND WELDERS AND HAVE SPECIAL INSPECTION BY WABO CERTIFIED INSPECTION AGENCY OR BE DONW BY GLUED. CONFORM TO IBC IDENTIFICATION INDEX 40/20 FOR SUPPORTS TO 20 INCHES ON CENTER. WABO CERTIFIED FABRICATION SHOP. EITHER SPECIAL INSPECTINO REPORT OR WABO FABRICATION ADHESIVES ARE TO CONFORM TO APA SPECIFICATION AFG-01. PROVIDE T&G EDGES AT LONG PANEL SHOP CERTIFICATION SHOULD BE AVAILABLE ON SITE FOR THE BUILDING INSPECTOR. WELDS NOT EDGES. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION. NAIL 6 INCHES SPECIFIED ARE TO BE 1/4" CONTINUOUS FILLET MINIMUM. USE DRY E70 ELECTRODES. ON CENTER AT END SUPPORTS AND 10 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS. PROVIDE EXP-1 RATING.

#### DIMENSIONAL LUMBER

- MEET REQUIREMENTS OF PS 20-70 AND NATIONAL GRADING RULES FOR SOFTWOOD DIMENSIONAL
- 2. MINIMUM DIMENSIONAL LUMBER GRADES TO BE: WALL STUDS: 2x, HF STUD GRADE, 3x HF #2 WALL PLATES: 2x HF STANDARD GRADE 2x, 3x PRESSURE TREATED HF STANDARD GRADE AT FOUNDATION 2x6 HF STUD GRADE JOISTS: 2x8 AND UP HF #2
- BEAMS, HEADERS: 6x DF#2; 4x DF#2, WWPA GRADING POSTS: 4x, 6x, DF #2 LUMBER NOT NOTED TO BE HF #2.
- PROVIDE STANDARD CUT WASHERS FOR NUTS BEARING AGAINST WOOD, AND 1/4"x3" HOT-DIPPED GALVANIZED SQUARE PLATE WASHERS FOR ALL ANCHOR BOLTS.
- 4. ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY, WHICH IS IN CONTACT WITH OR RESTING ON FOUNDATIONS, SHALL BE PRESSURE TREATED HEM FIR OR BETTER, ALL BEARING WALL PLATES SHALL HAVE 5/8"Ø ANCHOR BOLTS PLACED A MAXIMUM 9" FROM THE END OF A PLATE AND SPACED AT INTERVALS SHOWN ON THE SHEARWALL SCHEDULE (MAXIMUM 4'-0" O.C. SPACING). ALL TREATED PRESSURE TREATED WOOD MEMBERS SHALL COMPLY WITH AWP4 U1 AND AWP4 M4 STANDARDS.
- 5. CAST-IN-PLACE ANCHOR BOLTS SHALL HAVE A MINIMUM 7" EMBEDMENT. ALTERNATE 5/8"Ø EXPANSION ANCHORS SHALL BE HILTI KWIK BOLT II ANCHORS EMBED 7", OR APPROVED ALTERNATE.
- 6. BOLTS IN WOOD BEAMS SHALL NOT BE LESS THAN 7 DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER.
- NAILS: NAILING IN ACCORDANCE WITH IBC TABLE 2304.10.1. 16D NAILS MAY BE 16D SINKERS (0.148  $\times$ 3-1/4") UNLESS NOTED OTHERWISE
- PRESURE TREATED WOOD: ALL NAILS INTO PT WOOD SHALL BE HOT DIPPED GALVANIZED PER ASTM 2. SOIL: A153 OR STAINLESS STEEL. ALL METAL CONNECTORS IN CONTACT WITH PT WOOD SHALL BE HOT DIPPED GALVANIZED AND MEET ASTM A653 CLASS G185 (1.85 oz OF ZINC PER SQ FT MINIMUM) OR TYPE 304 / 316 STAINLESS STEEL. SIMPSON Z-MAX CONNECTORS MEET THIS REQUIREMENT. FASTENERS AND CONNECTORS USED TOGETHER SHALL BE OF THE SAME TYPE (E.G. HOT DIPPED NAILS WITH HOT DIPPED HANGERS)

#### MAN

NUFACTURED TIMBER		
PRODUCT	APPLICATION	WIDTHS
LSL RIMBOARD (1.3E)	RIMBOARD OR STAIR STRINGER	1 ¼"
TIMBERSTRAND LSL (1.3E)	HEADER, BEAM, OR COLUMN < 9" DEPTH	3 1⁄2"
TIMBERSTRAND LSL (1.55E)	RIMBOARD, HEADER, OR < 9" DEPTH BEAM	1 <sup>3</sup> ⁄4",3 1⁄2"
TIMBERSTRAND LSL (1.3E)	WALL STUD 2X4 & 2X61	1/2"
(1.5E)	WALL STUD > 2X6	1 1⁄2"
MICROLLAM LVL ( 1.9E)	HEADER, BEAM	1 <sup>3</sup> ⁄4"
PARALLAM PSL (2.0E)	HEADER, BEAM	3 ½", 5 ¼", 7"
PARALLAM PSL (1.8E)	COLUMN	3 ½", 5 ¼", 7"

WOOD STRUCTURAL CONNECTIONS

SIMPSON STRONG-TIE COMPANY OR ENGINEER APPROVED EQUAL.

- LUMBER. BEAR STAMP OF WWPA

1. REFERENCE STANDARDS: ACI "DETAILING MANUAL" (SP-66); CRSI MANUAL OF STANDARD PRACTICE

LAP CONTINUOUS REINFORCING BARS 48 BAR DIAMETERS, UNLESS OTHERWISE NOTED. PROVIDE

REFERENCE STANDARDS: DESIGN, FABRICATION AND ERECTION ARE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"

ALL FRAMING ANCHORS, POST CAPS, BASES, HANGERS, STRAPS, ETC., SHALL BE AS MANUFACTURED BY

#### BRICK VENEER ANCHORAGE

- D/A 2135 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EQUAL AT WOOD STUD WALL.
- D/A 5213 SEISMIC VENEER ANCHORS BY DUR-O-WAL OR APPROVED EQUAL AT CONCRETE WALL
- 3. PLACE ANCHORS AT 16" O.C. VERTICAL AND 16" HORIZONTAL. PROVIDE #9 GA HORIZONTAL JOINT REINFORCING WIRE . ATTACH TO WOOD STUDS WITH #8 CORROSION RESISTANT SCREWS AND TO CONCRETE WITH 1/4"Ø EXPANSION ANCHORS.
- AT ALL OPENINGS LARGER THAN 16" IN EITHER DIRECTION, ANCHORS TO BE SPACED WITHIN 12" OF THE **OPENING AT ALL SIDES**
- 5. USE TYPE N MORTAR COMPLYING WITH ASTM C270

## GLU-LAMINATED TIMBER

- 1. GLU-LAMINATED WOOD BEAMS, DOUGLAS FIR COAST REGION, KILN DRIED, AITC SPECIFICATION 24F-V4 FOR SIMPLE SPANS (TYPICAL), AND 24F-V8 FOR CANTILEVER-SPANS (WHERE SPECIFIED). PROVIDE AITC STAMP ON TIMBER AND SUBMIT CERTIFICATE TO ARCHITECT AND ENGINEER. MATERIALS MUST BE OBTAINED FROM AN AITC APPROVED FABRICATOR. ALL GLU-LAM BEAMS SHALL FIT SNUG AND TIGHT IN THEIR CONNECTIONS AND DEVELOP FULL BEARING AS INDICATED. NO SUBSTITUTION OF OTHER SPECIES, GLU-LAM ADHESIVE TO BE "WET- USE" TYPE, PROVIDE 2000 FT RADIUS CAMBER, U.N.O.
- MANUFACTURER'S CERTIFICATE SHALL BE PRESENTED TO THE BUILDING INSPECTOR PRIOR TO INSTALLATION.

## WOOD SHEATHING

- ROOF SHEATHING: 7/16" MINIMUM THICKNESS APA RATED PRP-108 PERFORMANCE STANDARD, EDGE SEALED PANELS DESIGNED TO SPAN 24 INCHES EITHER PARALLEL OR PERPENDICULAR TO LONG AXIS OF PANEL WITH 35 PSF LIVE LOAD. LAY UP WITH MINIMUM 1/8" CLEAR BETWEEN PANELS TO ALLOW FOR EXPANSION. NAIL 6 INCHES ON CENTER ALONG EDGES, AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. USE 10D COMMON NAILS, U.N.O. PROVIDE EXP-1 RATING.
- 3. WOOD SHEARWALL SHEATHING: PLYWOOD OR OSB APA RATED PRP-108 PERFORMANCE STANDARD PER IBC STD 23-2 OR 23-3 TYPE C-C OR C-D. USE EXTERIOR ADHESIVES. USE 8d COMMON NAILS. PROVIDE EXP-1 RATING. ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER STUDS. HORIZONTAL JOINTS SHALL OCCUR OVER BLOCKING EQUAL IN SIZE TO THE STUDDING. REFER TO SHEAR WALL SCHEDULE FOR PANEL THICKNESS.
- 4. NAILING SPECIFICATIONS: CONFORM TO IBC SECTION 2304.10 "CONNECTIONS AND FASTENERS." UNO ON PLANS, NAILING PER TABLE 2304.10.1, AND FOR ROOF/FLOOR DIAPHRAGMS AND SHEARWALLS SHALL BE PER DRAWINGS. NAILS SHALL BE DRIVEN FLUSH AND SHALL NOT FRACTURE THE SURFACE OF SHEATHING. ALTERNATE NAILS MAY BE USED BUT ARE SUBJECT TO REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER. SUBSTITUTION OF STAPLES FOR THE NAILING OF RATED SHEATHING IS SUBJECT TO REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

## SHOP DRAWINGS AND SUBMITTALS

1. SUBMIT 2 SETS OF PRINTS AND 1 SET OF REPRODUCIBLES FOR REVIEW FOR:

- C) GLU-LAMINATED BEAMS A) REINFORCING STEEL B) MISCELLANEOUS STEEL D) PRE-MANUFACTURED WOOD TRUSSES
- 2. SUBMIT 3 COPIES FOR REVIEW PRIOR TO FABRICATION FOR:
- CONCRETE DESIGN MIX
- A)
- B) CONCRETE INSERTS C) EPOXY ADHESIVES

## INSPECTIONS

- 1. REFERENCE STANDARDS: IBC 110.
- INSPECTIONS ARE TO BE PERFORMED BY THE BUILDING OFFICIAL. INSPECTIONS REQUIRED ARE AS FOLLOWS:
- VERIFY SUBGRADE IS DRY DENSE AND DOES NOT HAVE STANDING WATER PRIOR TO POURING FOOTINGS. 3. CONCRETE: INSPECTIONS REQUIRED ONLY FOR DESIGN MIXES SPECIFIED GREATER THAN 2500 PSI. TAKE CONCRETE CYLINDERS AS REQUIRED. VERIFY SLUMP AND STRENGTH. 4. REINFORCING: VERIFY ALL REINFORCING IS PLACED IN ACCORDANCE WITH APPROVED PLANS.
- CHECK FOR REQUIRED COVER, SIZE AND GRADE. 5. WOOD: DIAPHRAGM NAILING, BLOCKING AND HOLD-DOWN CONNECTIONS.

## ALTERNATES:

1. ALTERNATE ASSEMBLIES AND MATERIALS WILL BE CONSIDERED FOR REVIEW. ENGINEER MAY REQUEST PAYMENT FOR REVIEW; CONTRACTOR WILL BEAR BURDEN FOR ADDITIONAL PAYMENT AT NO ADDITIONAL COST TO OWNER.

## SETTLEMENT SHRINKAGE

1. DUE TO CROSS GRAIN WOOD SHRINKAGE, THIS BUILDING IS EXPECTED TO SETTLE APPROXIMATELY 3/8 INCH PER STORY. ALL PLUMBING AND MECHANICAL DUCTS SHALL BE DESIGNED WITH FLEXIBLE JOINTS OR OTHERS MEANS TO APPROPRIATELY ACCOMMODATE THIS NORMAL SETTLEMENT. ALL INTERIOR AND EXTERIOR SHEATHING AND FINISHES SHALL BE INSTALLED SUCH THAT NO DAMAGE WILL OCCUR. SHRINKAGE IS EXPECTED IN THE DEPTH OF THE FLOOR PLATES AND NOT IN THE LENGTH OF THE WALL STUDS.

THE ENGINEER AND/OR ARCHITECT HAVE NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATED TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ENGINEER AND/OR ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS OR THEIR EMPLOYEES, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL, OR OCCUPANCY BY ANY PERSON.

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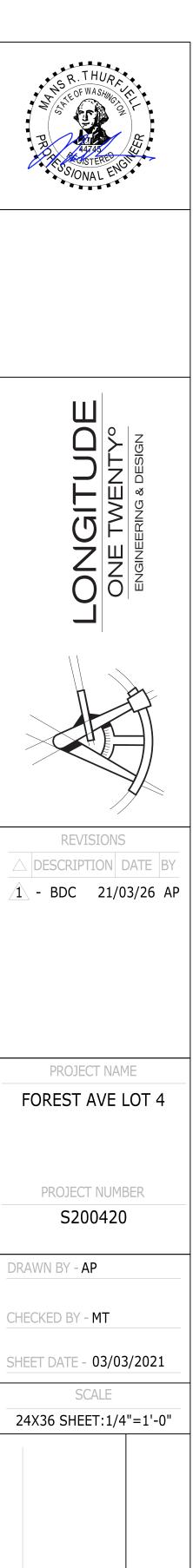
ABV AFF ΔΙΤ ALUN AYC BLD( BLK( BOT BRG BTW **BSM** B/W CANT CJ CLG. CLJ CLR CMU COL CONC CONN CON CON CTR DFT DF DFL DIM DIA DN ΕN FOR

#### JOBSITE SAFETY:

# ABBREVIATIONS

AB	ANCHOR BOLT
ABV	ABOVE
AFF	ABOVE FINISH FLOOR
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
AYC	ALASKAN YELLOW CEDAR
BB	BOX BEAM
BF	BOTTOM FLUSH
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
BP	BOTTOM PLATE
BRG	BEARING
BTWN	BETWEEN
BSMT	BASEMENT
B/W	BOTTOM OF WALL
CANT	CANTILEVER
CJ	CONTROL JOINT
CLG.	CEILING
CLJ	CEILING JOIST
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CTR	CENTER
DET	DETAIL
DF	DOUGLAS FIR (SOUTH)
DFL	DOUGLAS FIR LARCH
DIM	DIMENSION
DJ	DOUBLE JOIST
DIA	DIAMETER
DN	DOWN
DS	DOWN SPOUT
EA	EACH
EF	EACH FACE
EJ	EXPANSION JOINT
ELEV	ELEVATION
EN	EDGE NAILING (PANEL)
EOR	ENGINEER OF RECORD
EQ	EQUAL
ES	EACH SIDE
EW	EACH WAY
FB	FLUSH BEAM
FIN	FINISH
FL	FLOOR
FLSHG	FLASHING
FND	FOUNDATION
FP	FIREPLACE
FT	FOOT
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED

GLULAM BEAM GRADE GYPSUM WALL BOARD HOT-DIPPED GALVANIZED HEADER HEM FIR HEIGHT HEIGHT INCH JOINT MAXIMUM MINIMUM MISCELLANEOUS NON-BEARING NUMBER ON CENTER PLATE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED RAFTER REFERENCE REINFORCEMENT REQUIRED REQUIREMENTS SQUARE FOOT SHEATHING SIMILAR SPRUCE PINE FIR STANDARD SOUTHERN YELLOW PINE TOP OF TOP OF BEAM TOP OF CONCRETE TOP OF PLATE TOP OF SLAB TOP OF STEEL TOP OF WALL TOP FLUSH TRIPLE JOIST TOP PLATE THREADED ROD TYPICAL UNLESS NOTED OTHERWISE UNDER POST ABOVE UNDER WALL ABOVE VCB (V.C.B.) VERTICAL CRUSH BLOCKING VERTICAL VERIFY IN FIELD WITH WESTERN CEDAR WATERPROOF WELDED WIRE FABRIC



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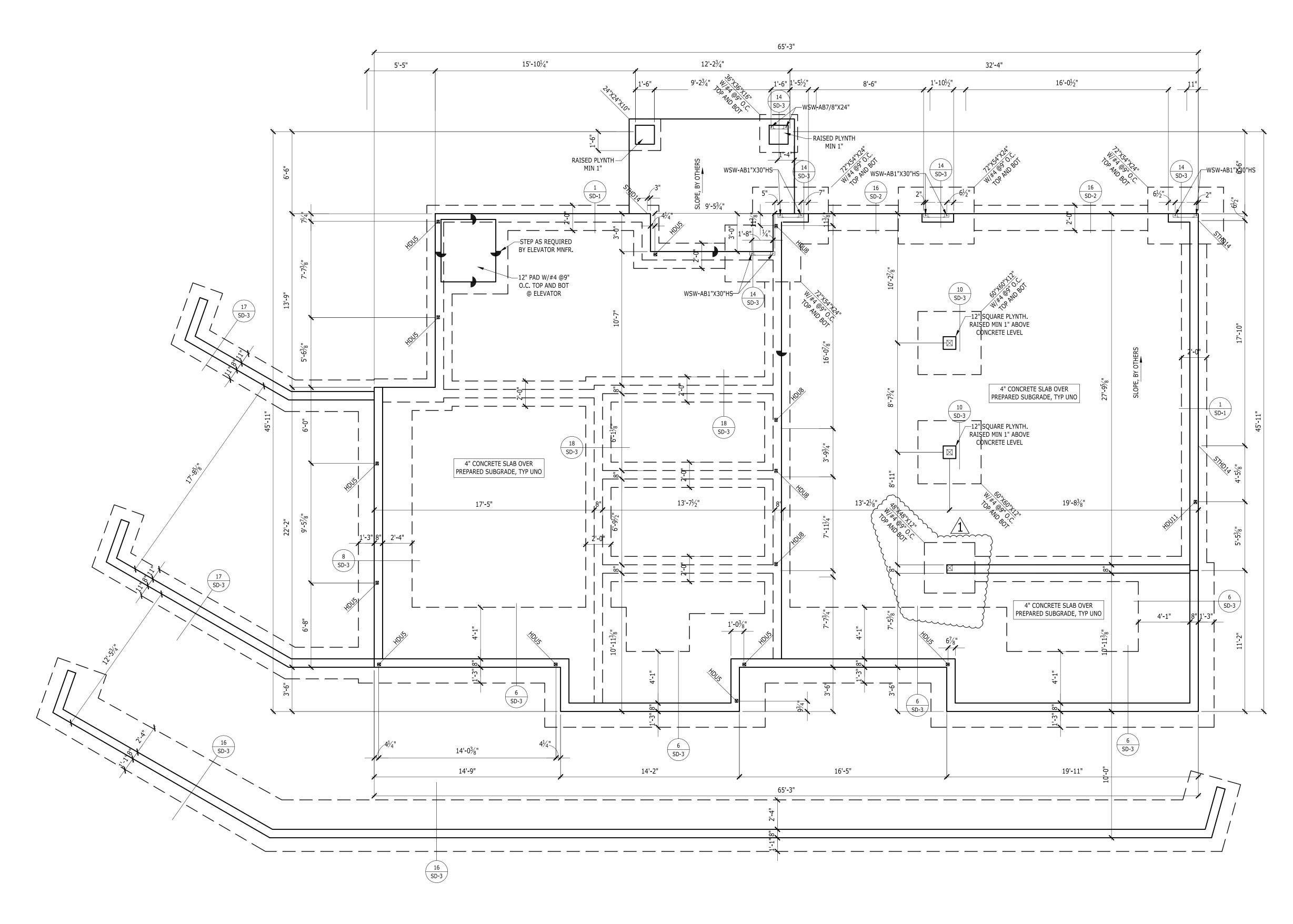
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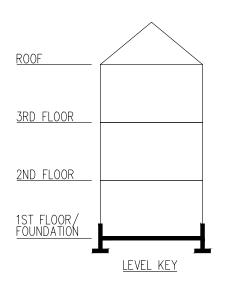
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# **FOUNDATION NOTES**

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. PROVIDED DIMENSIONS ARE TO FACE OF CONCRETE STEM WALL OR CENTER OF INDIVIDUAL FOOTING. OUTSIDE FACE OF STEM WALL ALIGNS WITH OUTSIDE FACE OF STUD WALL UNO. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD/HTT HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 3. VERIFY ALL T/CONC ELEVATIONS ON ALL CONCRETE INCLUDING PARTIAL HEIGHT RETAINING WALLS. CONCRETE TO EXTEND MIN 8" ABOVE FINISHED GRADE. PROVIDE 1" RECESS AT DOUBLE SIDED SHEARWALLS TO ACCOMODATE 3X SILL PLATE.
- 4. FOOTINGS ARE TO BEAR ON COMPETENT NATIVE SOIL OR STRUCTURAL FILL CAPABLE OF SUPPORTING THE ASSUMED BEARING PRESSURE PER GENERAL NOTES. REFERENCE GEOTECHNICAL REPORT (IF AVAILABLE) FOR SUBGRADE PREPARATION, FILL REQUIREMENTS, FOOTING DRAINS, AND OTHER REQUIREMENTS. REFERENCE ARCH SET (OR OTHERS IF APPLICABLE) FOR FOOTING DRAINS AROUND PERIMETER OF BUILDING.
- 5. PRIOR TO POURING CONCRETE CONTRACTOR SHALL LOCATE AND VERIFY LOCATIONS OF ALL FOUNDATION OPENINGS, PENETRATIONS, AND SLOPES.
- 6. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 7. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- HOLDOWNS BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER SPECIFICATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. HOLDOWN THREADED RODS SHALL BE ASTM F1554 (36KSI) HDG UNO. EMBEDDED END OF THREADED ROD TO HAVE 3"X3"X1/4" HDG PLATE WASHER BETWEEN TWO HAND-TIGHTENED HDG STANDARD NUTS.
- 9. CJ INDICATES CONTROL JOINT. 10. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS
- BY OTHERS. 11. EXTERIOR STAIRS AND STEEL-FRAMED STAIRS BY OTHERS.
- 12. TYPICAL DETAILS:
- 1/SD-1 TYP STEMWALL
- 2/SD-1 TYP INTERIOR FOOTING
- 3/SD-1 TYP CRAWLSPACE VENT
- 4/SD-1 TYP FOOTING STEP
- 5/SD-1 TYP CORNER BARS REQ'T
- 7/SD-1 TYP CONSTRUCTION JOINT
- 8/SD-1 TYP BAR BEND AND HOOK DETAIL •
- 9/SD-1 TYP STHD HOLDOWN INSTALLATION • 10/SD-1 TYP STHD HOLDOWN SECTION
- 11/SD-1 TYP HOLDOWN INSTALLATION • 12/SD-1 TYP PONY WALL DETAIL

	HOLDOWN SC	HEDULE	
MODEL	ANCHOR	EMBEDMENT	MIN END POST
CS16/CS14	-	-	1-2X EA
MST#	-	-	2-2X OR 3X
STHD14/STHD14RJ	-	-	2-2X OR 3X
HDU2	5/8" TR	12"	2-2X OR 3X
HDU5	5/8" TR	12"	2-2X
HDU8	7/8" TR	12"	3-2X
HDU11	1" TR	12"	6X6
HDU14	1" TR	15"	6X6
HD19	1 1/4" TR	15"	6X6

## FOUNDATION LEGEND



INDICATES STEP AT B/FOUNDATION

TANK WALL (TOP OF WALL NOT TO STEP WITHIN HATCHED REGION)

HOLDOWN BY SIMPSON (STHD/HDU/HD/HTT, TYP)





FOOTING CENTERED ON POST (L X W X T)



DRAWN BY - AP
CHECKED BY - MT
SHEET DATE - 03/03/2021
SCALE

# 24X36 SHEET:1/4"=1'-0"

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REVISIONS

DESCRIPTION DATE BY

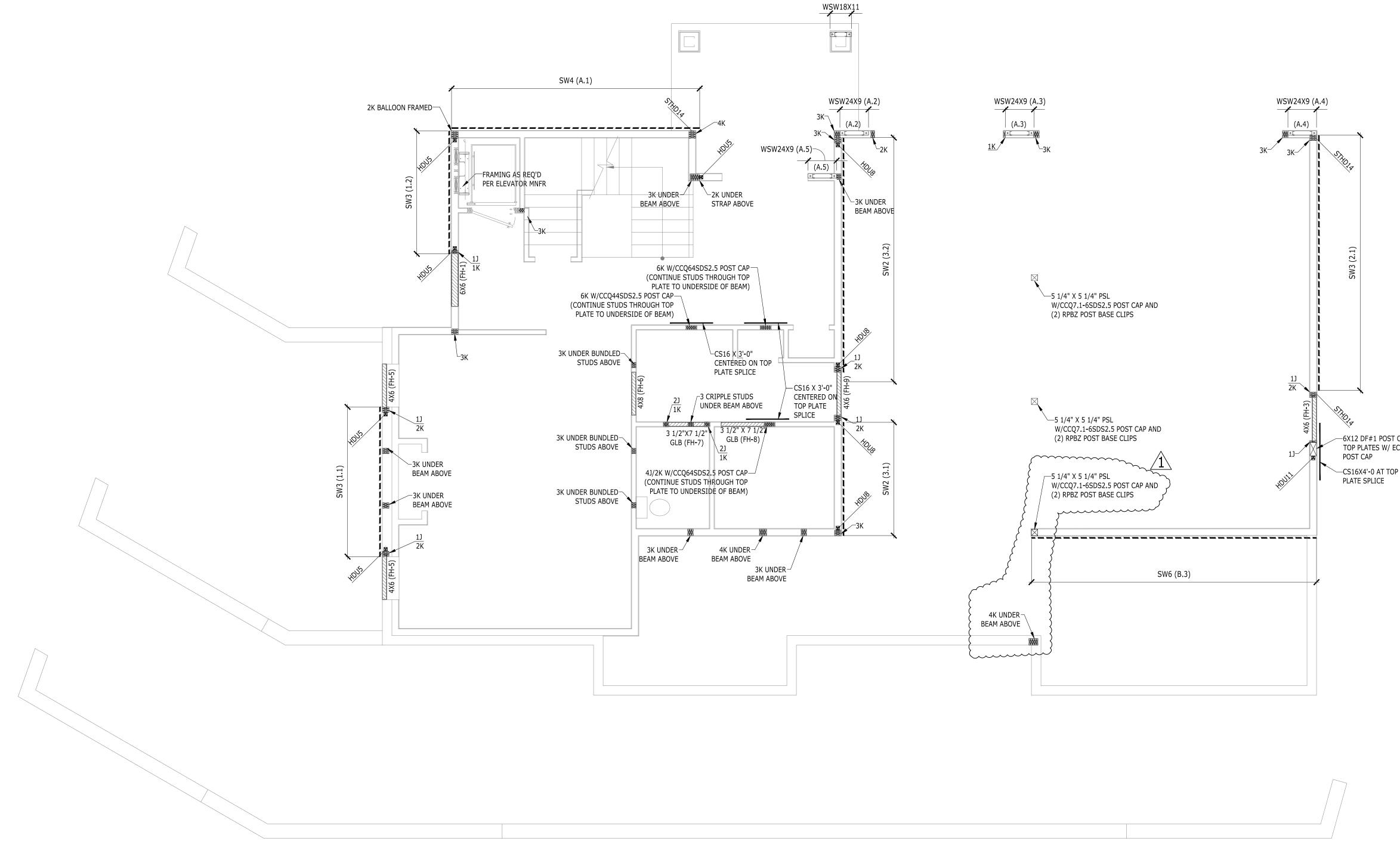
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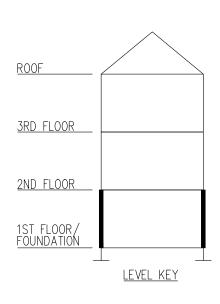
PROJECT NAME

FOREST AVE LOT 4

PROJECT NUMBER

S200420





## FIRST FLOOR WALL FRAMING AND SHEAR WALL PLAN

#### SHEAR WALL SCHEDULE

		PANEL EDGE NAILING	PANEL		RIM CONNECTION		
WALL	SHEATHING	(COMMON OR GALV BOX NAILS)	EDGE STUDS	ANCHOR BOLTS 5/8"Ø EMBED 7"	AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .148Ø x 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

# WALL FRAMING AND SHEAR WALL NOTES

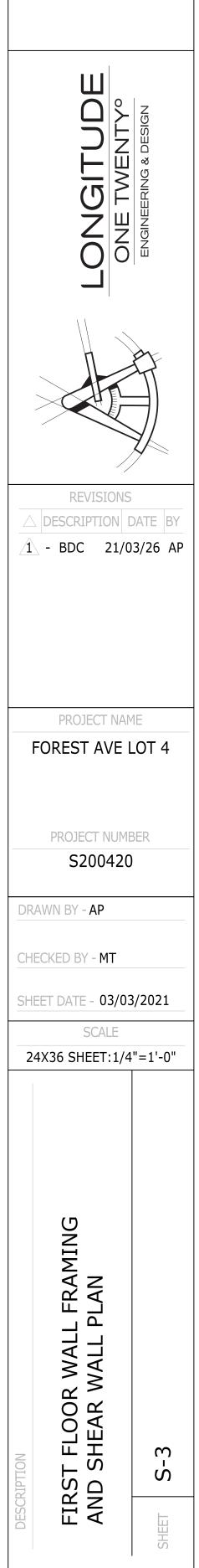
- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- LUMBER GRADE PER GENERAL STRUCTURAL NOTES. 4. ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED
- TOGETHER WITH 16d @ 6"O.C.
- 5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- 7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- 8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- 9. PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO. PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
- 10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- 11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- 12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- 13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- 15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 17. TYPICAL DETAILS:
- 9/SD-1 TYP STHD HOLDOWN INSTALLATION
- 10/SD-1 TYP STHD HOLDOWN SECTION
- 11/SD-1 TYP HOLDOWN INSTALLATION
- 12/SD-1 TYP PONY WALL DETAIL • 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 17/SD-1 TYP NON-BEARING WALL FRAMING
- 20/SD-1 TYP TOP PLATE SPLICE
- 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
- 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL • 3/SD-2 TYP HEADER FRAMING

## FRAMING AND SHEATHING LEGEND

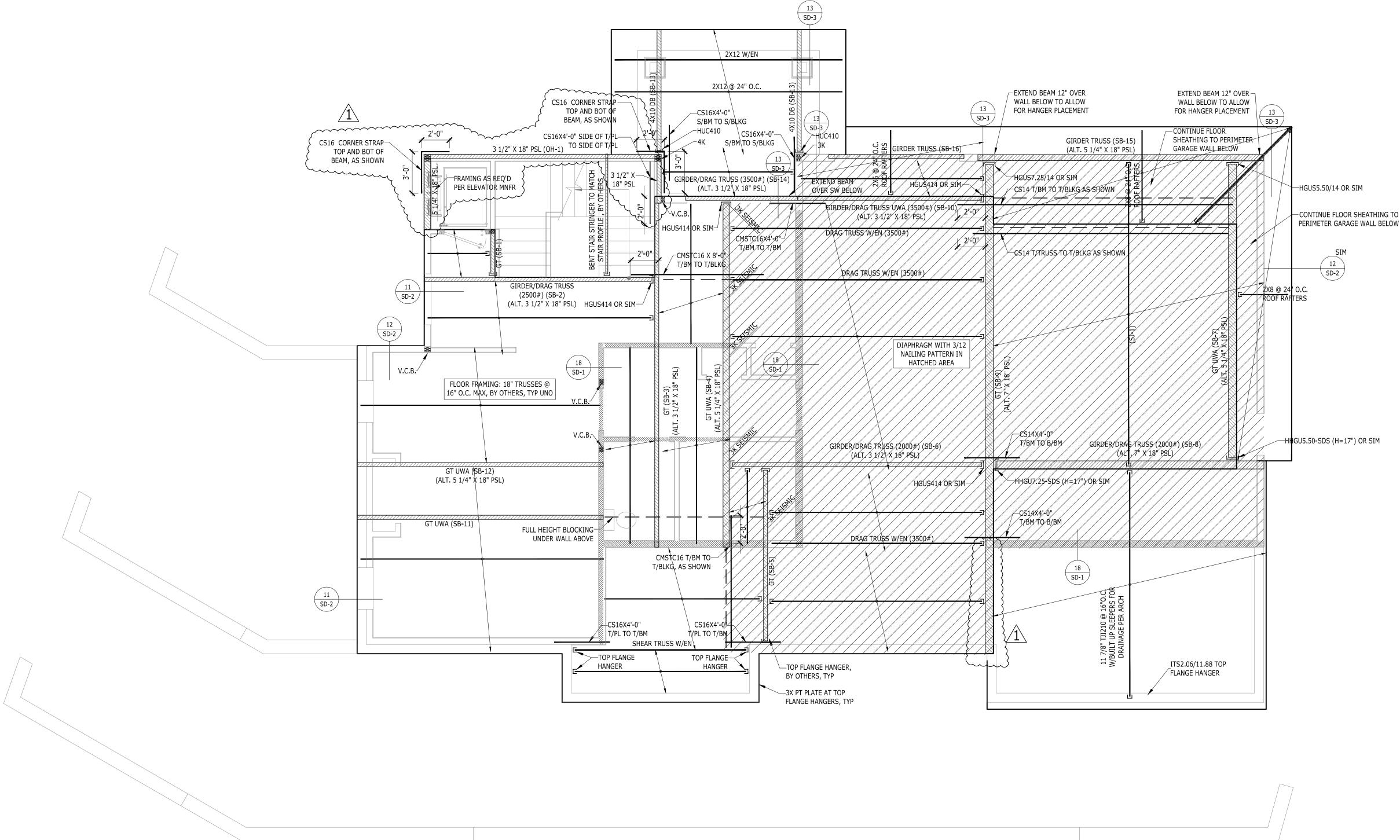
(EXAMPLE) 14	- HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)
#K #J	- INDICATES THE NUMBER OF KING AND JACK STUDS
	- INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK)
CS16	- HORIZONTAL STRAP (EXAMPLE)
	- HEADER
SW6 (A.1)	- SHEAR WALL CALLOUT
	— REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKA
	- REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE

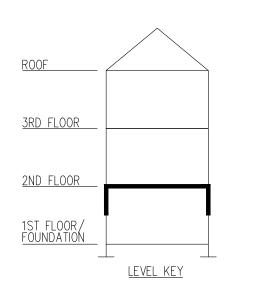
REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE	
REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE	
3 1/8" X 9" GLB (FH-5) - EXAMPLE	
REFERENCE TO BEAM OR TRUSS CALCULATION IN	
CALCULATION PACKAGE	
BEAM OR TRUSS MEMBER	





—6X12 DF#1 POST CONT THROUGH TOP PLATES W/ ECQQ7.1-6SDS-2.5





# SECOND FLOOR FRAMING PLAN

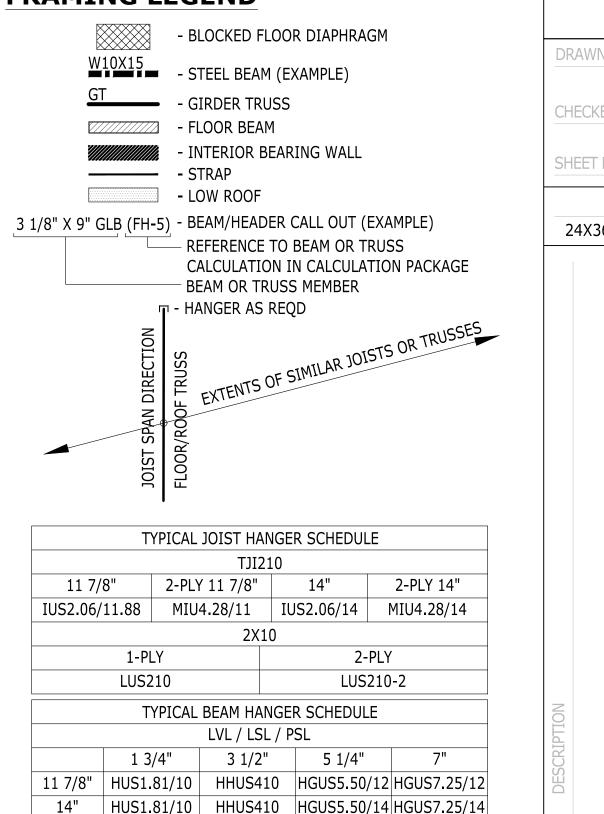
-CONTINUE FLOOR SHEATHING TO

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# **FLOOR FRAMING NOTES**

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH. FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 5. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- 7. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- 11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- 13. FIRE-PROOFING AND MOISTURE-PROOFING REOUIREMENTS BY OTHERS. 14. TYPICAL DETAILS:
- 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
- 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
- 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL • 19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

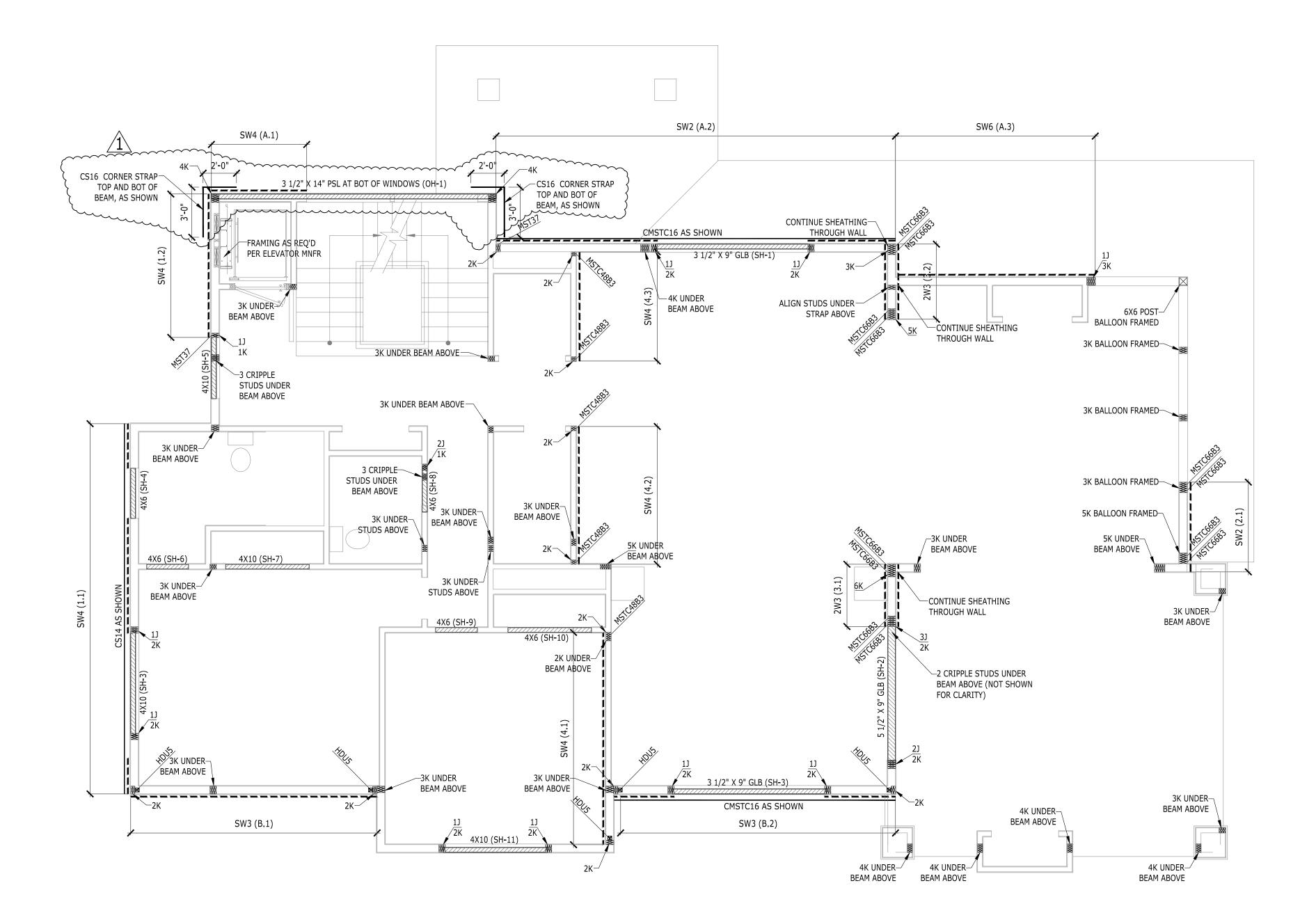
## FRAMING LEGEND

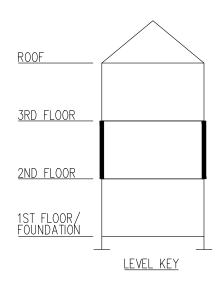






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## SECOND FLOOR WALL FRAMING AND SHEAR WALL PLAN

#### SHEAR WALL SCHEDULE

		PANEL EDGE NAILING	PANEL		RIM CONNECTION		
WALL	SHEATHING	(COMMON OR GALV BOX NAILS)	EDGE STUDS	ANCHOR BOLTS 5/8"Ø EMBED 7"	AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .148Ø x 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

# WALL FRAMING AND SHEAR WALL NOTES

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- LUMBER GRADE PER GENERAL STRUCTURAL NOTES.
   ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED
- TOGETHER WITH 16d @ 6"O.C.
- 5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- 7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- 8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO.
   PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
   SUFARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH.
- 10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- 11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- 12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- 13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- 15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 17. TYPICAL DETAILS:
  - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
  - 10/SD-1 TYP STHD HOLDOWN SECTION
  - 11/SD-1 TYP HOLDOWN INSTALLATION
  - 12/SD-1 TYP PONY WALL DETAIL
     14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG
     DRAG CONNECTION
  - DRAG CONNECTION
    15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
  - 15/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
     16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
  - 17/SD-1 TYP NON-BEARING WALL FRAMING
  - 20/SD-1 TYP TOP PLATE SPLICE

• 3/SD-2 TYP HEADER FRAMING

- 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
- 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL

## FRAMING AND SHEATHING LEGEND

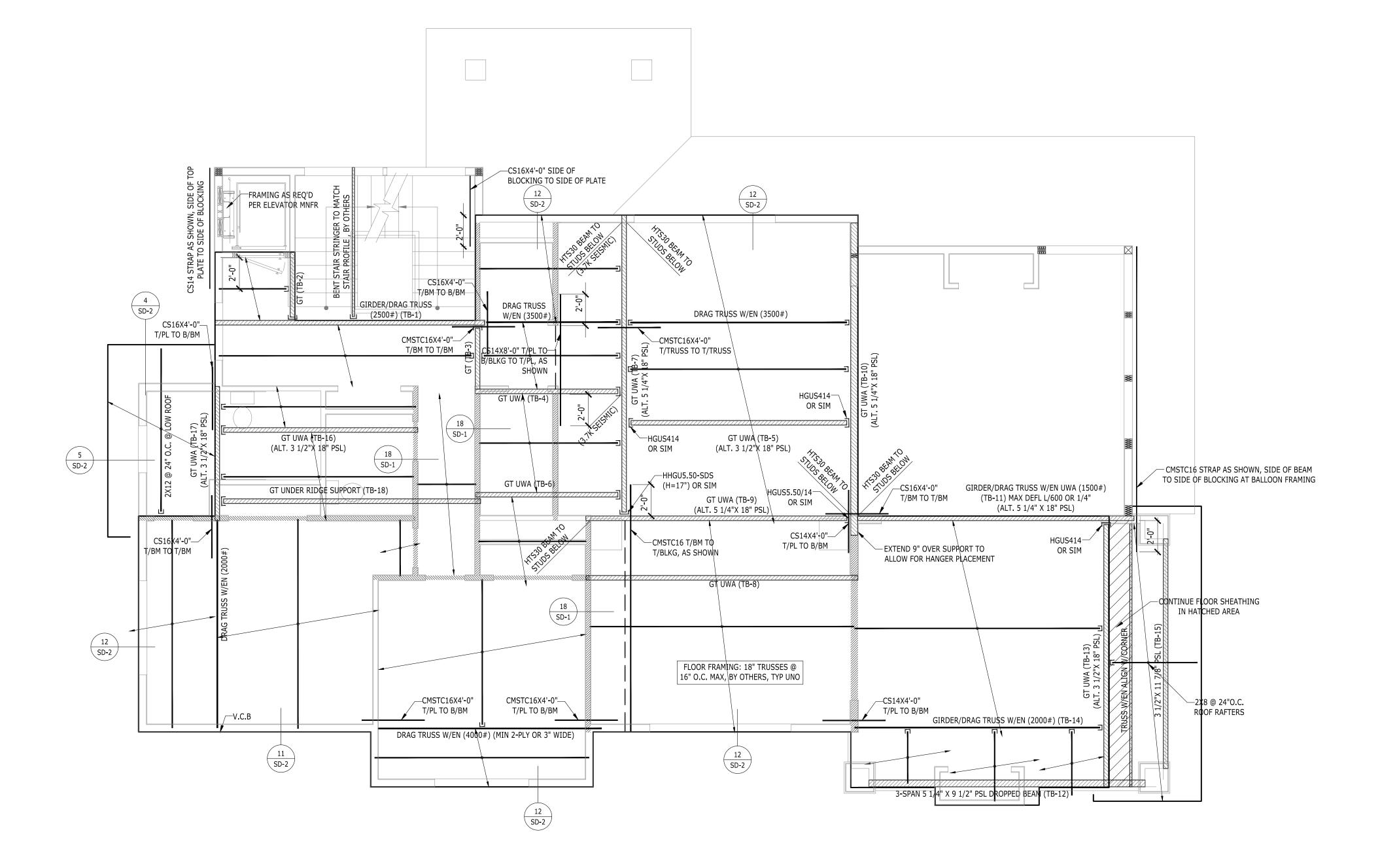
FRAM	NG AND SHEATHING LEGEND
ETAMPLE A	- HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)
#K #J	- INDICATES THE NUMBER OF KING AND JACK STUDS
	- INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK)
<u>CS16</u>	- HORIZONTAL STRAP (EXAMPLE)
	- HEADER
SW6 (A.1)	- SHEAR WALL CALLOUT

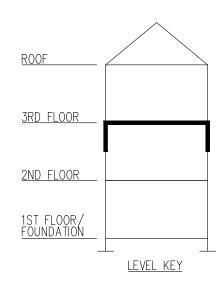
		REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE
3	3 1/8" X 9" GLB (FH-5)	- EXAMPLE
		REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE

BEAM OR TRUSS MEMBER







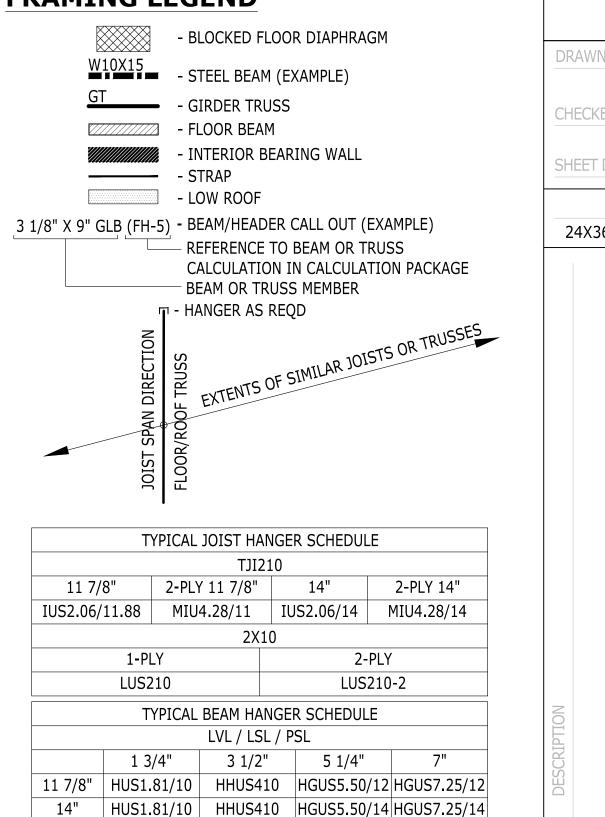


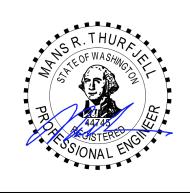
## THIRD FLOOR FRAMING PLAN

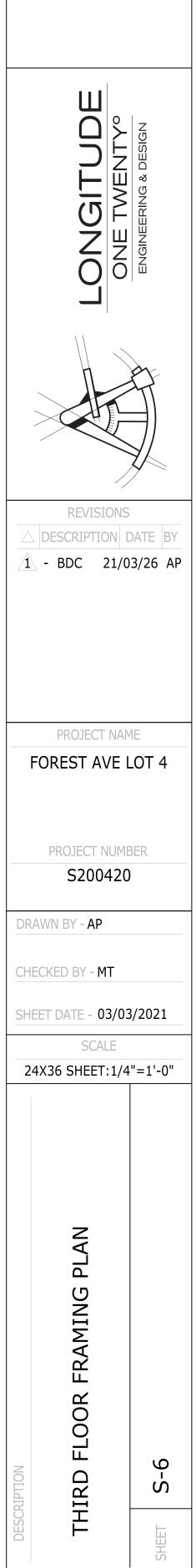
# **FLOOR FRAMING NOTES**

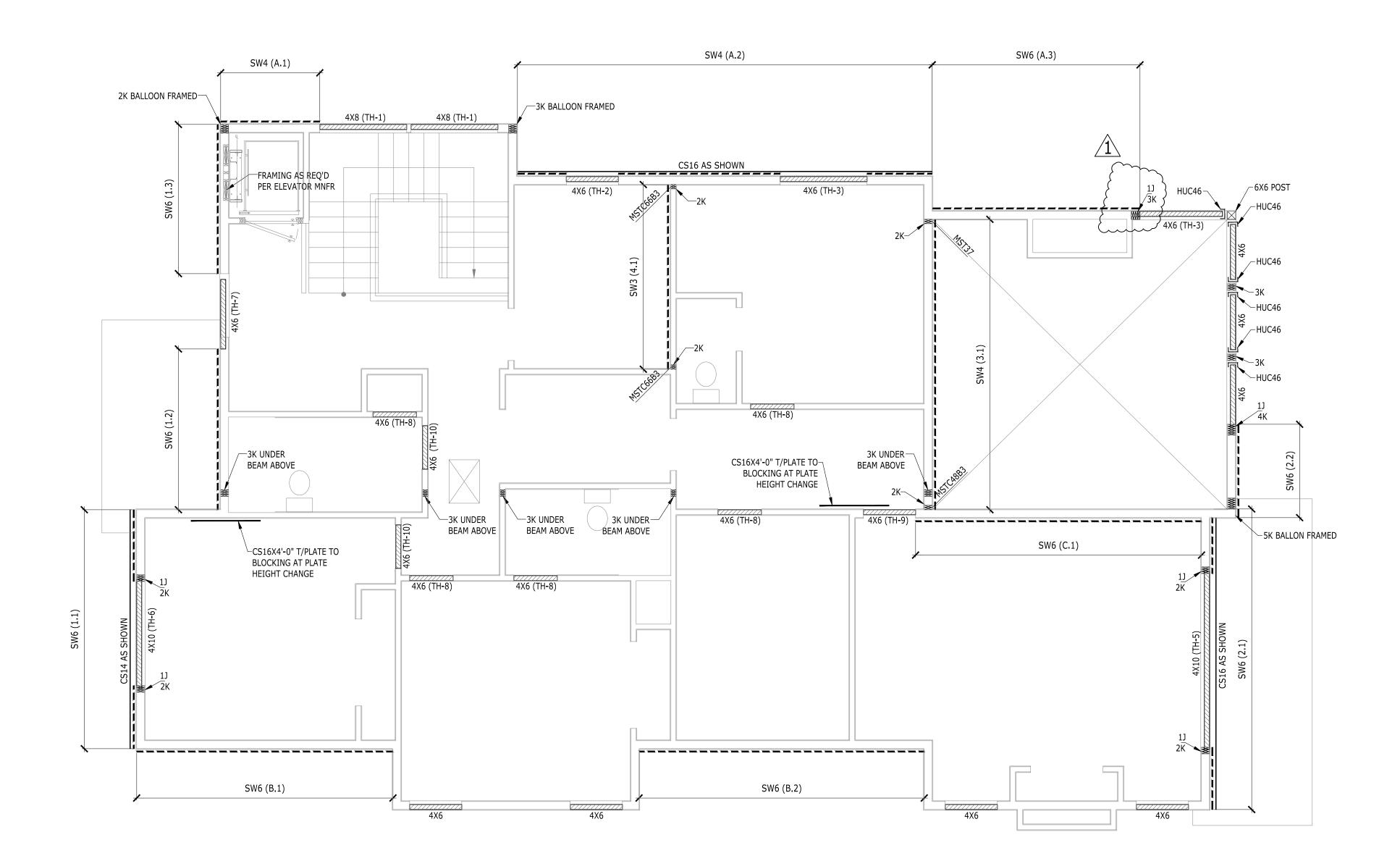
- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
   FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 5. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 5. ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- 11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
   TYPICAL DETAILS:
- 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
- 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
- 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
   19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

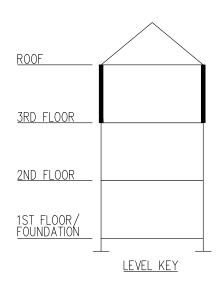
## FRAMING LEGEND











## THIRD FLOOR WALL FRAMING AND SHEAR WALL PLAN

#### SHEAR WALL SCHEDULE

WALL	SHEATHING	PANEL EDGE NAILING (COMMON OR GALV BOX NAILS)	PANEL EDGE STUDS	ANCHOR BOLTS 5/8"Ø EMBED 7"	RIM CONNECTION		
					AT MUD SILL/ PLATE	AT ROOF EAVE TOP PLATE	AT SILL PLATE (SINKER NAIL .148Ø x 3 1/4")
SW6	7/16" APA PLY ONE SIDE	8d AT 6" O.C.	2x	48" O.C. IN 2x PLATE	LTP4 AT 24" O.C.	RBC AT 16" O.C.	16d AT 6" O.C.
SW4	7/16" APA PLY ONE SIDE	8d AT 4" O.C.	2x	32" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 12" O.C.	16d AT 4" O.C.
SW3	7/16" APA PLY ONE SIDE	8d AT 3" O.C.	3x	16" O.C. IN 2x PLATE	LTP4 AT 16" O.C.	RBC AT 8" O.C.	16d AT 3" O.C.
SW2	7/16" APA PLY ONE SIDE	8d AT 2" O.C.	3x	12" O.C. IN 2x PLATE	LTP4 AT 12" O.C.	RBC AT 8" O.C.	16d AT 2" O.C.
2W4	7/16" APA PLY TWO SIDES	8d AT 4" O.C. EA SIDE	3x	24" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 4" O.C.
2W3	7/16" APA PLY TWO SIDES	8d AT 3" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 16" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 3" O.C.
2W2	7/16" APA PLY TWO SIDES	8d AT 2" O.C. EA SIDE	3x	16" O.C. IN 3x PLATE	LTP4+A35 @ 12" O.C. EA SIDE	N.A. AT ROOF EAVE	(2) ROWS 16d AT 2" O.C.

NOTES: 1) FOR NON-SHEAR WALL, PROVIDE ANCHOR BOLTS @ 72" O.C.

# WALL FRAMING AND SHEAR WALL NOTES

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- 2. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- LUMBER GRADE PER GENERAL STRUCTURAL NOTES.
   ALL BUNDLED STUDS SPECIFIED PER PLAN SHALL BE CONNECTED
- TOGETHER WITH 16d @ 6"O.C.
- 5. EXTERIOR WALL STUDS SHALL BE 2X6 @ 16"O.C. (≤10'), 2X6 @ 12"O.C. (>10') UNO. INTERIOR WALL STUDS SHALL BE 2X4 @ 16"O.C. UNO. REFER TO ARCH SET FOR WALL THICKNESS REQUIREMENTS AT PLUMBING STACKS. ALL INTERIOR NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 6. PROVIDE ONE KING STUD AND ONE JACK STUD MINIMUM AT EVERY HEADER UNO. JACK STUDS SHOULD BE CONTINUOUS TO THE FOUNDATION AND SHALL HAVE VERTICAL CRUSH BLOCKING WITHIN THE FLOOR FRAMING DEPTH MATCHING THE WIDTH OF JACK STUDS.
- 7. SHEARWALL SHEATHING AND NAILING REQUIREMENTS PER SHEARWALL SCHEDULE. ALL EXTERIOR WALLS SHALL BE TYPE SW6 UNO.
- 8. ALL SHEATHING PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING. PANEL EDGE NAILING PER SHEARWALL SCHEDULE, FIELD NAILING AT 12" O.C. UNO.
- PROVIDE MIN TWO 2X STUDS AT EACH END OF SHEARWALL UNO.
   PROVIDE PANEL EDGE NAILING INTO EACH STUD AT END OF WALL.
   CUEADWALL DANEL EDGE CTUDE INDICATE THE MINIMUM CTUD WIDTH.
- 10. SHEARWALL PANEL EDGE STUDS INDICATE THE MINIMUM STUD WIDTH AT ABUTTING PANEL EDGES. TWO 2X STUDS ARE AN ACCEPTABLE ALTERNATE FOR 3X STUDS. TWO 2X STUDS ARE TO BE NAILED TOGETHER WITH TWO ROWS 10d NAILS AT 6" O.C (4" O.C. @ SW2 AND 2W2). AT DOUBLE SIDED SHEARWALLS VERTICAL PANEL EDGES TO BE STAGGERED ON OPPOSITE SIDES OF THE WALL EXCEPT END OF SHEARWALL.
- 11. LTP4 INSTALLED OVER PLYWOOD SHALL USE 8d COMMON NAILS (.131Ø X 2.5") LTP4 INSTALLED DIRECTLY AGAINST FRAMING MAY USE 8d SHORT (.131X 1.5") RBC INSTALLED DIRECTLY AGAINST FRAMING USE 10d SHORT (.148X 1.5").
- 12. WINDOW STRAP INDICATES THAT A WINDOW IS INCORPORATED WITHIN THE SHEAR WALL. REFER TO FORCE-TRANSFER AROUND OPENING DETAIL FOR FRAMING REQUIREMENTS.
- 13. STHD HOLDOWNS ARE DIMENSIONED TO CENTER OF STRAP. HDU/HD HOLDOWNS ARE DIMENSIONED TO CENTER OF ANCHOR BOLT.
- 14. SILL ANCHOR BOLTS (J-BOLTS) SHALL BE ASTM F1554 (36KSI) HDG, ASTM A307 (36KSI) HDG OR SIM. ANCHOR BOLTS TO BE 5/8"Ø X 7" MIN EMBEDMENT. SPACING PER SHEARWALL SCHEDULE (72" O.C. MAX). EACH ANCHOR BOLT TO HAVE STANDARD HDG NUT AND WASHER INSTALLED OVER 3"X3"X1/4" HDG PLATE WASHER WITH AND EDGE OF THE PLATE WASHER LOCATED WITHIN 1/2" OF SHEATHED FACE OF WALL. FOR TWO-SIDED SHEARWALLS W/ 2X6 WALL FRAMING USE 4X4X1/4" PLATE WASHERS OR STAGGER ANCHOR BOLTS SO THAT EVERY OTHER PLATE WASHER IS LOCATED WITHIN 1/2" OF EACH FACE OF THE WALL.
- 15. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 16. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
- 17. TYPICAL DETAILS:
  - 9/SD-1 TYP STHD HOLDOWN INSTALLATION
  - 10/SD-1 TYP STHD HOLDOWN SECTION
  - 11/SD-1 TYP HOLDOWN INSTALLATION
  - 12/SD-1 TYP PONY WALL DETAIL
     14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
  - 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
  - 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
  - 17/SD-1 TYP NON-BEARING WALL FRAMING
  - 20/SD-1 TYP TOP PLATE SPLICE
  - 1/SD-2 TYP NOTCHES AND HOLES IN WOOD STUDS
  - 2/SD-2 FORCE-TRANSFER AROUND WINDOWS DETAIL
     3/SD-2 TYP HEADER FRAMING

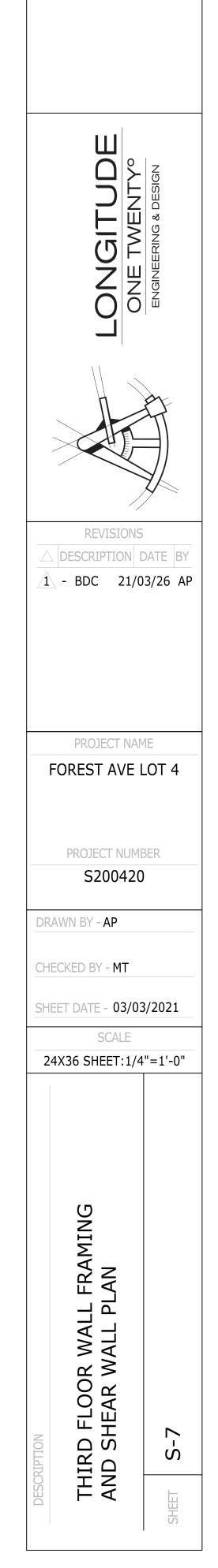
## FRAMING AND SHEATHING LEGEND

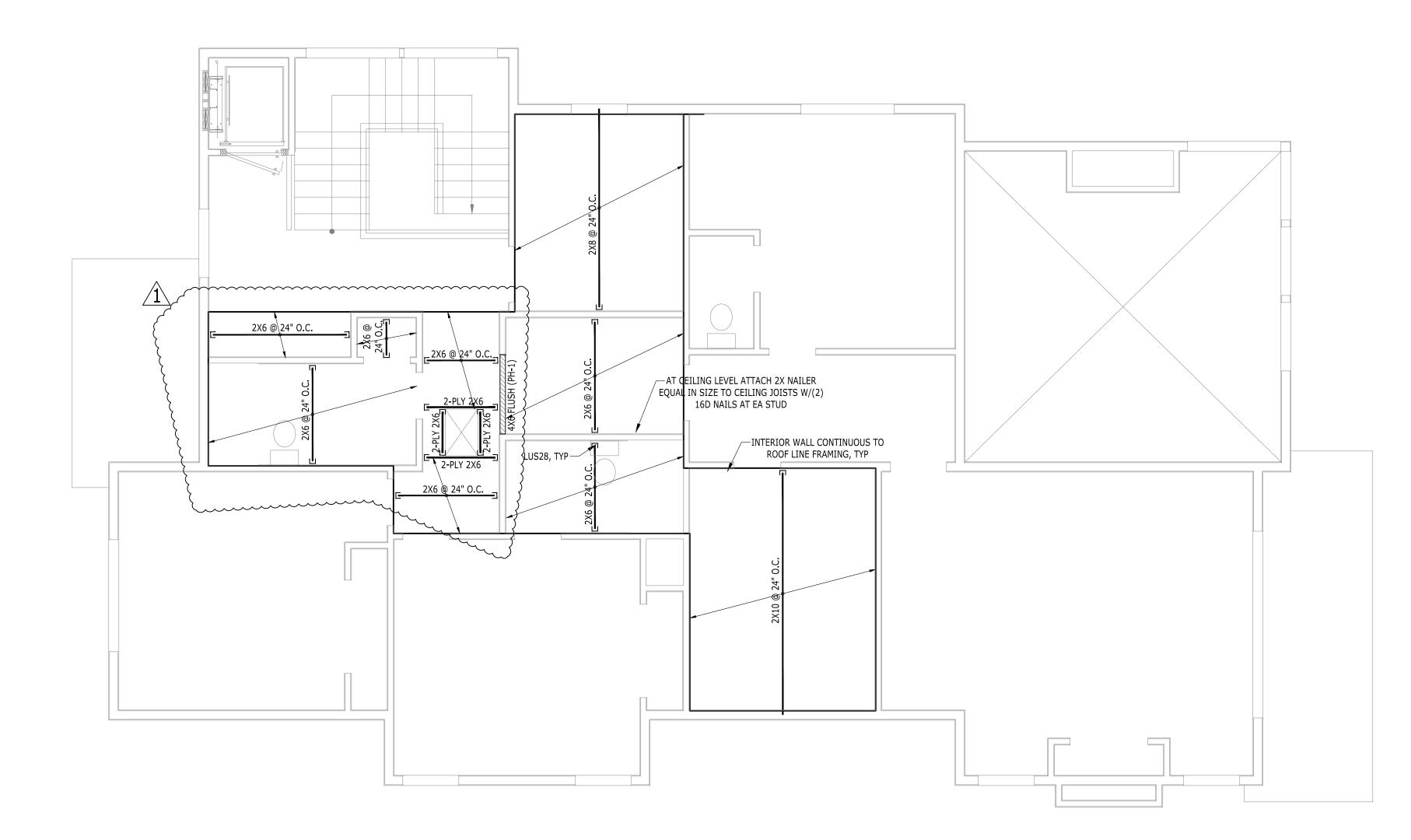
ETAMPIE STRDIA	- HOLDOWN BY SIMPSON (STHD/MST/HDU/HD, TYP)				
#K #J	- INDICATES THE NUMBER OF KING AND JACK STUDS				
	- INDICATES SHEARWALL LOCATION (SW# - SHEAR WALL MARK)				
<u>CS16</u>	- HORIZONTAL STRAP (EXAMPLE)				
	- HEADER				
SW6 (A.1)	- SHEAR WALL CALLOUT — REFERENCE TO WALL DESIGNATION IN THE CALCULATION PACKAGE — REFERENCE TO SHEAR WALL TYPE PER SHEAR WALL SCHEDULE				

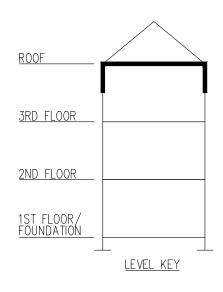
(EH_5) - EXAMPLE

- 3 1/8" X 9" GLB (FH-5) EXAMPLE REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
  - BEAM OR TRUSS MEMBER





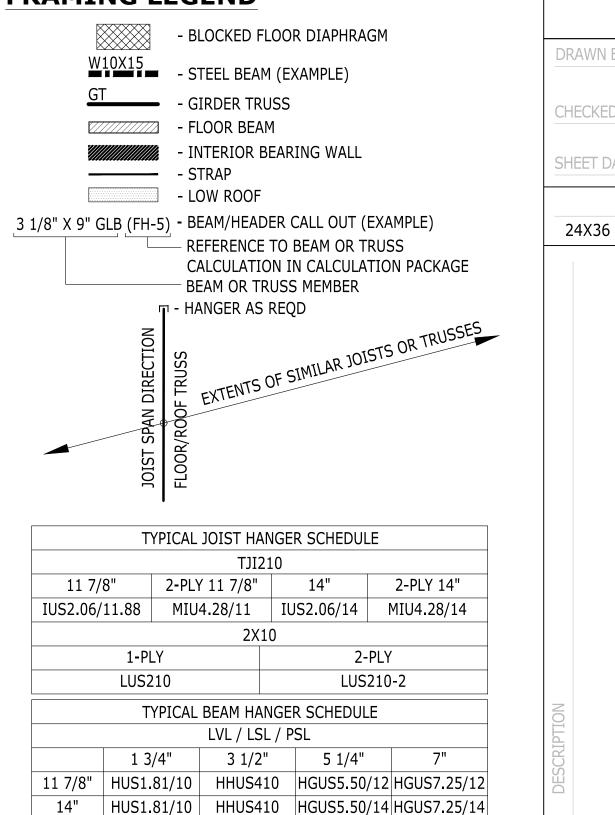




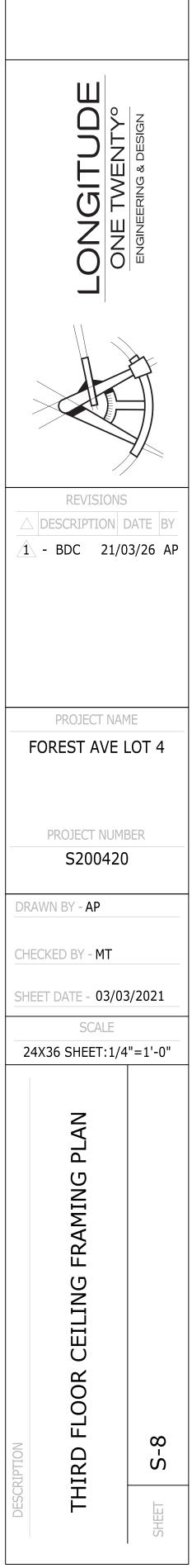
# **FLOOR FRAMING NOTES**

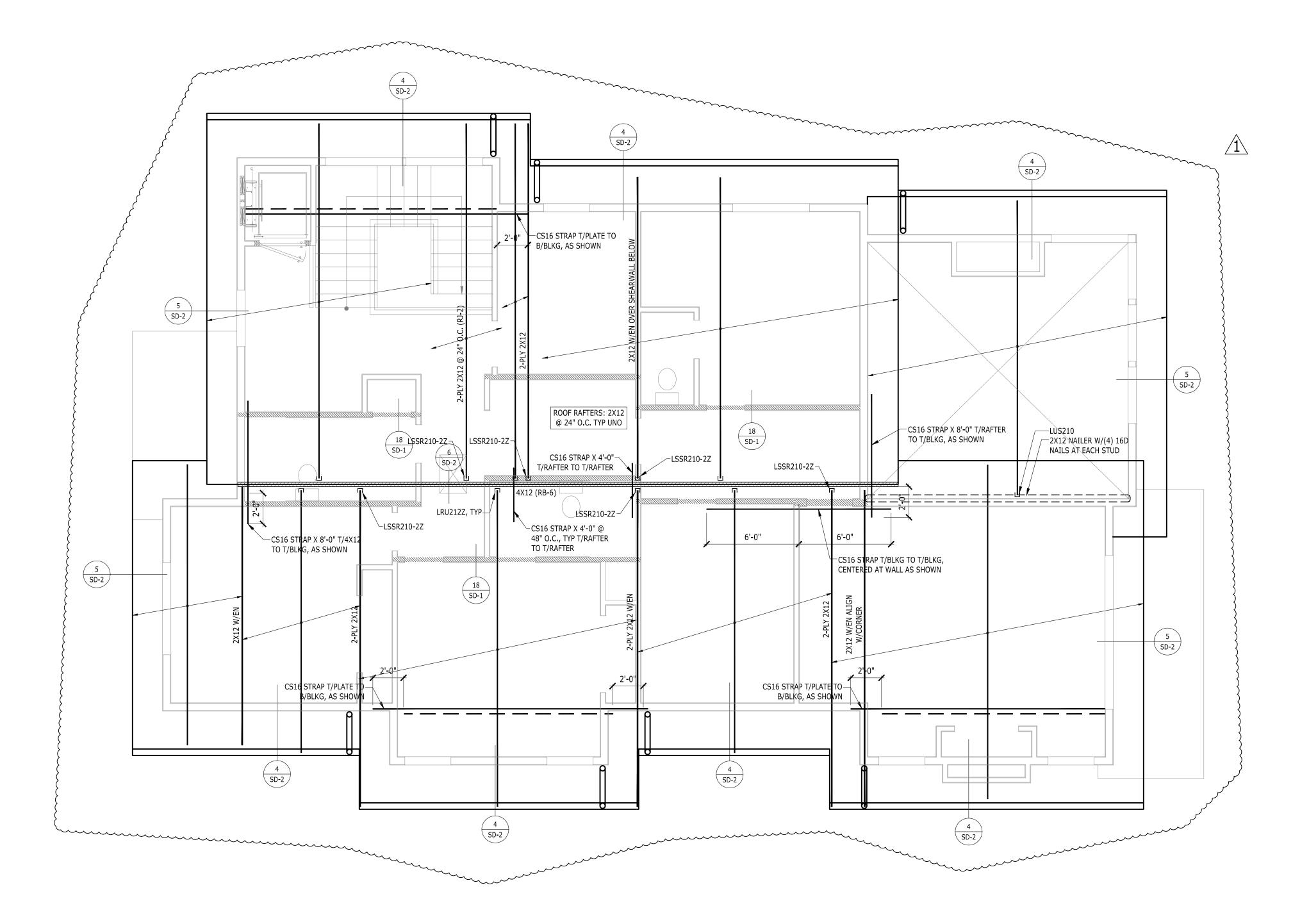
- GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
   VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
   FLOOR SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH FLOOR FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 5. ALL WOOD LOCATED WITHIN 8" OF FINISHED GRADE, EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL FASTENERS IN CONTACT WITH FIRE-RETARDANT OR PRESSURE-TREATED WOOD SHALL BE COVERED IN PROTECTIVE COATING (I.E. HDG OR SIM).
- 5. ALL BEAMS SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 8. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 9. ALL POSTS ABOVE THE FLOOR FRAMING SHALL BE BLOCKED WITHIN THE FLOOR DEPTH ("VERTICAL GRAIN BLKG", "VERTICAL CRUSH BLKG", OR "VCB"). BLOCKING WIDTH SHALL MATCH WIDTH OF POST OR BUNDLED STUDS ABOVE AND EXTEND FULL FLOOR DEPTH.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN.
- 11. ALL TIES AND HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS.
- 12. ENGINEERED FLOOR JOISTS AND FLOOR TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY OTHERS.
   TYPICAL DETAILS:
- 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
- 14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
- 18/SD-1 TYP FRAMING AT INTERIOR BEARING WALL
   19/SD-1 TYP FRAMING AT INTERIOR FLUSH BEAM

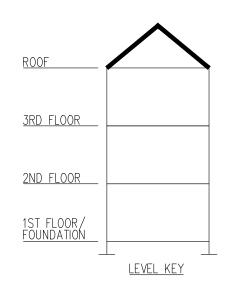
## FRAMING LEGEND











ROOF FRAMING PLAN

# **ROOF FRAMING NOTES**

- 1. GENERAL STRUCTURAL NOTES AND ABBREVIATIONS PER SHEET S-1.
- VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCH.
   ROOF SHEATHING PER GENERAL NOTES. ALL SHEATHING TO BE
- GLUED AND NAILED TO FRAMING PER MANUFACTURER RECOMMENDATIONS. USE 8d COMMON NAILS (0.131" X 2 1/2") @ 6" O.C. AT PANEL EDGES AND AT ALL FRAMING DESIGNATED "WITH EDGE NAILING" OR "W/EN", AND 12" O.C. IN THE FIELD, UNO. PANEL EDGE JOINTS TO BE STAGGERED BETWEEN ADJACENT PANELS OF SHEATHING. PROVIDE GAP BETWEEN PANELS TO ALLOW FOR NATURAL EXPANSION/CONTRACTION (1/8" GAP TYP).
- 4. ALL ROOF TRUSSES SHALL BE SPACED NO FURTHER APART THAN 24" O.C. AND SHALL BE CONNECTED TO TOP PLATE WITH H2.5 TIE UNO.
- 5. ALL GIRDER TRUSSES SHALL BE CONNECTED TO TOP PLATE WITH TWO H6 TIES UNO.
- 6. LOCATE ALL OPENINGS AND PENETRATIONS AND VERIFY NO CONFLICT WITH ROOF FRAMING. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS BY OTHERS.
- 7. ALL BEAMS AND GIRDER TRUSSES SHALL BE SUPPORTED BY MIN TWO STUDS BELOW EACH END, UNLESS NOTED OTHERWISE ON PLAN. ALL BEAMS SHALL BE FRAMED FLUSH WITH JOISTS UNO. "DROPPED BEAM" OR "DB" INDICATES T/BEAM EQUAL B/JOISTS. "TOP FLUSH" OR "TF" INDICATES T/BEAM EQUAL T/JOISTS AND B/BEAM EXTENDING BELOW B/JOISTS. "BOTTOM FLUSH" OR "BF" INDICATES B/BEAM EQUAL B/JOISTS AND T/BEAM EXTENDING ABOVE T/JOISTS.
- 8. ALL NON-BEARING WALLS TO BE FRAMED MIN 0.25" UNDER FLOOR SYSTEM.
- 9. STUD QUANTITIES, POST SIZE, HOLDOWN, AND SHEARWALL REQUIREMENTS PER WALL FRAMING AND SHEARWALL PLAN BELOW.
- 10. HORIZONTAL STRAPS INDICATED ON FRAMING PLANS SHALL BE CENTERED OVER THE TOP PLATE, BEAM, OR BLOCKING. STRAP LENGTH PER PLAN UNO.
- 11. ALL HANGERS TO BE MANUFACTURED BY SIMPSON STRONG-TIE. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS. ALTERNATIVE SOLUTIONS SHALL BE SUBMITTED TO EOR FOR APPROVAL PRIOR TO INSTALLATION. REFER TO TYPICAL HANGER SCHEDULE FOR HANGER SIZE UNO ON PLAN OR DETAILS. HANGERS FOR ROOF TRUSSES BY OTHERS.
- 12. ENGINEERED ROOF JOISTS AND ROOF TRUSSES TO BE DESIGNED BY OTHERS. REFER TO STRUCTURAL GENERAL NOTES FOR SUBMITTAL INFORMATION, AND DESIGN CRITERIA.
- 12.1. STANDARD DEAD AND LIVE LOADS SHALL BE USED FOR TRUSS DESIGN. REFERENCE STRUCTURAL GENERAL NOTES FOR MORE INFORMATION.
- 12.2. CHANGES TO LAYOUT MUST BE SUBMITTED TO THE ARCHITECT AND EOR FOR REVIEW AND APPROVAL.
- 12.3. TRUSS SUBMITTAL PACKAGE TO BE PROVIDED TO EOR FOR REVIEW. REFERENCE STRUCTURAL GENERAL NOTES FOR SUBMITTAL REQUIREMENTS.
- 12.4. (XXX LBS SHEAR/DRAG) INDICATES SHEAR TRANSFER LOAD. SHEAR TRUSS SHALL BE DESIGNED TO BE ABLE TO TRANSFER SPECIFIED LATERAL LOAD APPLIED AT THE TOP CHORD TO THE BOTTOM CHORD AND INTO SHEARWALL BELOW.
- 12.5. ROOF TRUSSES SHOULD BE DESIGNED FOR ADDITIONAL LOADS WHERE APPLICABLE AS SPECIFIED BY THE ARCHITECT (I.E. MECHANICAL UNITS, ROOF DECKS AND PATIOS, GREEN ROOFS, SOLAR UNITS AND ETC).
- 12.6. TRUSS DESIGN FOR BEARING AT TOP PLATES TO BE DESIGNED FOR COMPRESSION PERPENDICULAR TO GRAIN.
  13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS BY
- 13. FIRE-PROOFING AND MOISTURE-PROOFING REQUIREMENTS OTHERS. 14. ROOF COVERINGS AND ROOFING MATERIAL BY OTHERS.
- 15. ROOF DRAINAGE BY OTHERS.
- 16. ATTIC VENTILATION BY OTHERS.
- 17. FOR TYPICAL INSTALLATION DETAILS REFERENCE TO:
- 13/SD-1 TYP DROPPED BEAM AT CUT PLATES
  14/SD-1 TYP BEAM-TO-BEAM AND BEAM-TO-BLKG
- 14/SD-1 TYP BE DRAG CONNECTION
- 15/SD-1 TYP BEAM-TO-T/PL DRAG CONNECTION
- 16/SD-1 TYP BEAM-TO-BLKG-TO-T/PL CONNECTION
- 17/SD-1 TYP NON-LOAD BEARING WALL FRAMING
- 4/SD-2 TYP HIP ROOF FRAMING
  5/SD-2 TYP GABLE END ROOF FRAMING
- 5/SD-2 TYP GABLE END ROOF FRA
  6/SD-2 TYP ROOF OVERFRAMING
- 6/SD-2 TYP ROOF OVERFRAMING
  7/SD-2 TYP INTERIOR SHEAR TRUSS
- 7/SD-2
   1YP INTERIOR SHEAR TRUSS
   8/SD-2
   TYP INTERIOR OFFSET SHEAR TR
- 8/SD-2 TYP INTERIOR OFFSET SHEAR TRUSS
  9/SD-2 TYP TRUSS BLOCKING

## FRAMING LEGEND

- GIRDER OR GABLE END TRUSS
- INTERIOR BEARING WALL
- ROOF OVERFRAMING
- 3 1/8" X 9" GLB (FH-5) EXAMPLE
  - EXAMPLE - REFERENCE TO BEAM OR TRUSS CALCULATION IN CALCULATION PACKAGE
  - CALCULATION IN CALCULATION PACKAGE
     BEAM OR TRUSS MEMBER
     HANGER AS REQD

EXTENTS OF SIMILAR JOISTS OR TRUSSES



